



April 29, 2015

Oconee County Planning Department
415 S. Pine Street
Walhalla, SC 29691

Re: Application for a Proposed Verizon Wireless communications tower

Applicant: Verizon Wireless by Faulk and Foster, on behalf of the property owner, ADA Crawford Pruitt

Project Description: Verizon plans to construct a 150' monopole tower with a 9' lightning rod. Verizon will also place a 11'6" x 30' equipment shelter within a fenced compound area at the tower base. The compound will be screened by a row of evergreen trees. Please see enclosed drawings and photos for details.

Verizon Site Name: Seneca High

Location: 215 Semper Fi Drive, Seneca, SC 29678

Parcel ID: 253-00-02-002

Property Owner: ADA Crawford Pruitt

Please accept this letter and the enclosed supporting information in application to erect a communications tower at the above referenced location. The enclosed information includes:

- Completed Oconee County Application for Land Use Permit;
- Letter of Authorization from the property owner;
- Check in the amount of \$6000 for the application fee;
- Check in the amount of \$100 for the hearing fee;
- Full set of the construction drawings;
- Photos of the site location;
- Compliance and Authorization Letter;
- Site Justification Letter;
- No FAA Letter & TOWAIR Determination;
- FCC Antenna Search Results Page showing no towers within 1,300 feet;
- Professional Engineer Stamped Fall Zone & Capacity Letter;
- Site Impact Analysis and Photo Simulations.

If you have any questions or need anything further, please do not hesitate to contact me.

Sincerely,

Ivan Mousaw, Jr.
Zoning Specialist
Faulk & Foster
Phone: (704) 277-7026
E-mail: ivan.mousaw@faulkandfoster.com



Oconee County Planning Commission

415 S. Pine St. • Walhalla, South Carolina 29691

Phone (864) 638-4218 • Fax (864) 638-4168

Application for Land Use Permit

Date: April 22, 2015

I, Ivan Mousaw of Faulk and Foster Real Estate, Inc. (owner) (agent of owner) hereby make application to the Oconee County Planning Commission for the following land usage:

Special Exception to construct a 150' monopole telecommunications tower.

Company Name(s): Verizon Wireless

Lot Number: N/A

Block Number: N/A

Tax Map Number(s): 253-00-02-002

Address: 215 Semper Fi Drive, Seneca, SC 29678

Existing Land Use: Farm with living unit

Special Conditions (if any):

Is the tract or parcel of land restricted by any recorded covenant that is contrary to or conflicts with, or prohibits the proposed activity?

Yes

No

As the developer of this tract or parcel of land have you applied any restrictions by recorded covenant? (If yes, please attach a copy)

Yes

No

Applicant's Name: Faulk and Foster Real Estate, Inc. by Ivan Mousaw

Address: 9915 Pin Oak Acres Way, # 313, Charlotte, NC 28227

Mailing Address (if different):

Phone Number: 704-277-7026

Fax Number:

831-677-7026

Signature:

Date: 4/22/2015

Please be advised that this is NOT A BUILDING PERMIT APPLICATION. Contact the the Oconee County Building Codes Office (864-718-1005) for more information on required building permits or applications.



Faulk & Foster

LETTER OF AUTHORIZATION

APPLICATIONS FOR ZONING/LAND USE/BUILDING PERMITS

TO: Oconee County Planning & Zoning Department
415 S. Pine St., Walhalla, SC 29691

RE: Land Use Permit Request to construct a telecommunications facility upon property located at 215 Semper Ft Drive, Seneca, SC 29678; TMS 253-00-02-002

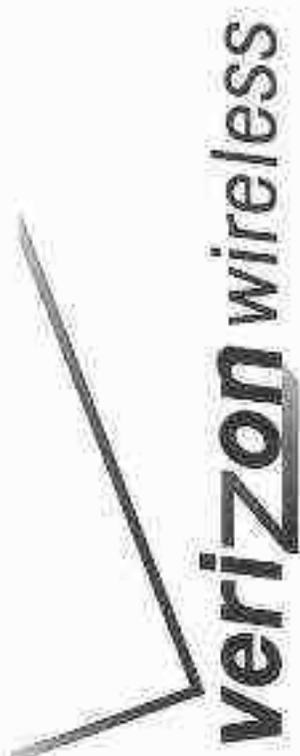
I, the owner of the above described real property, authorize Faulk & Foster and its employees, contractors and agents, including Evan H Mousaw, to act as an agent on my/our behalf for the purpose of performing all and every act that is required, necessary or appropriate to prepare, sign, submit, file and present on our behalf for building, zoning and/or land use applications in obtain land use changes, special exceptions, zoning variances, zoning permits, conditional use permits, special use permits, administrative permits, construction permits, operation permits, building permits, and other approvals or permits related to the above described real property.

Ada C. Pruitt
(Signature) *by Evan H. Mousaw - Pruitt, POA*

Ada C. Pruitt
(Print name) *by Francis S. Pruitt, POA*

Date *April 24, 2015*

SEE PLANS FOR PERMITS AND ZONING. VERIZON WIRELESS IS NOT RESPONSIBLE FOR ANY DELAYS OR CHANGES TO THIS PERMIT.



8921 RESEARCH DRIVE
CHARLOTTE, NC 28262

SENECA HIGH

SITE ADDRESS

215 SEMPER FI DRIVE
SENECA, SC 29678

OCONEE COUNTY
LATITUDE: 34° 40' 05.1" N
LONGITUDE: 82° 09' 04.9" W
TAX/PIN #: 263-00-02-002
ZONING: N/A



VICINITY MAP
THIS MAP IS FOR INFORMATION ONLY. IT DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE OF ANY KIND. VERIZON WIRELESS IS NOT RESPONSIBLE FOR ANY DELAYS OR CHANGES TO THIS PERMIT.

MUNICIPALITY: OCONEE COUNTY
STATE: SOUTH CAROLINA
TOWER TYPE: MONOPOLY TOWER
TOWER HEIGHT: 100 FT
PERMITTING AGENCY: OCONEE COUNTY
NUMBER OF CARRIERS: 1
USE: PROVIDER TELECOMMUNICATIONS TOWER AND ANTENNA EQUIPMENT INSTALLATION
CONSULTANT: BENTLEY-HORN AND ASSOCIATES, INC.
2001 COLONY DRIVE, SUITE 100
PEACHTREE CORNERS, GEORGIA 30084
PHONE: 404-252-3400
ATTN: SOUTH CAROLINA

DEVELOPER: VERIZON WIRELESS
2001 RESEARCH DRIVE
CHARLOTTE, NC 28262
PHONE: 704-974-2700
ATTN: WONG, HANSHI
POWER COMPANY: BLUE RIDGE ELECTRIC CORP
PHONE: 803-246-1400
ATTN: CUSTOMER SERVICE
TELEPHONE COMPANY: AT&T
PHONE: 800-888-8844
ATTN: STATE PERMIT
CONTACTS

PROJECT SUMMARY

DRAWING DIRECTIONS

NO.	DESCRIPTION	QTY
1	COVER SHEET	1
2	SITE PLAN	1
3	PERMITTING PLAN	1
4	FOUNDATION AND SHELTER FR. DRAWING	1
5	WELTER DETAILS	1
6	FENCE, GATE, AND COMPANO DETAILS	1
7	GRAVING AND CRUSION CONTROL PLAN	1
8	GRAVING AND CRUSION CONTROL DETAILS	1
9	ACCESS ROAD DETAILS	1
10	SITE STORAGE DETAILS	1
11	WATERAGE BRIDGE DETAILS	1
12	ANTENNA AND TOWER INSTALLATION DETAILS	1
13	LANDSCAPING PLAN	1
14	LANDSCAPING DETAILS	1
15	BASIC SERVICE ROUTING PLAN	1
16	GROUNDING PLAN	1
17	SWELLER PLAN	1
18	ELECTRICAL DETAILS	1
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100	ELECTRICAL DETAILS	1

GEORGE COUNTY PLANNING & ZONING
400 SOUTH BROAD ST.
WAYNESVILLE, NC 27884
PHONE: 919-689-2400
ATTN: PLANNING DEPARTMENT
PERMIT INFORMATION

<p>VERIZON WIRELESS 1000 VERIZON WAY DURHAM, NC 27701</p>	<p>PROJECT NAME: SENECA HIGH 8921 RESEARCH DRIVE CHARLOTTE, NC 28262</p>	<p>DATE: 04/01/15</p>	<p>PROJECT LOCATION: SENECA HIGH</p>	<p>CLIENT: VERIZON WIRELESS</p>			<p>COVER SHEET</p>	<p>T1 1</p>
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NOTES:

- THIS SITE SURVEY HAS BEEN PREPARED PARTIALLY FROM AN ACTUAL FIELD SURVEY AND PARTIALLY FROM MAPS AND RECORDS OF RECORD.
- PROPERTY SUBJECT TO ANY VALID & ENFORCEABLE EASEMENTS, RESTRICTIONS & RIGHTS OF WAY OR SECONDLY ACQUIRED OTHER INFORMATION TAKEN FROM COUNTY TAG RECORDS.
- ALL DISTANCES SHOWN ARE GROUND DISTANCES, IN FEET UNLESS OTHERWISE NOTED.
- MATH OPERATIONS BASED UPON 2-D. CURV (RAD 63) AND ANGLES ESTABLISHED BY THIS SURV. PROPERTY SURVEYOR. ALL DISTANCES MEASURED THROUGH GRADE.
- THE WAY IS OF LEGAL PROPERTY AND DOES NOT CREATE A SUBDIVISION OF LAND.
- THIS MAP IS FOR LEASE PURPOSES AND IS NOT A BOUNDARY SURVEY OF THE PRIOR TRACT.
- COORDINATES LISTED ARE SOUTH CAROLINA STATE PLANE COORDINATES NAD83 (2011) INTERNATIONAL FEET.
- ELEVATIONS WERE OBTAINED BY AN ANIMATED DYNAM 3+ GNS.
- SUBJECT PROPERTY IS NOT COVERED WITH A SPECIAL FLOOD HAZARD ZONE PER FEMA FIRM COMMUNITY MAP NUMBER 4203300010C, SPECIAL FLOOD HAZARD ZONE 200A.

LEGEND

- CALCULATED POINT
- DBS = DITCH
- DBF = GROUND DRO FACTOR = 0.9999983
- CP = CONCRETE PAD
- DB = DIRT DITCH
- CP = 104 1/4 IN ROUND (44 REBAR)
- SPV = 6000 FEET TOWER
- PS = 1000 IN SET (44 REBAR)
- LP = 1000 IN SET
- MS = 6000 IN SET
- CHU = CHUTE UTILITY LIMIT
- PLA = PLAT MARK
- TR = TRAIL
- POB = POINT OF BEGINNING
- POC = POINT OF COMMENCEMENT
- POI = POINT OF INTERSECTION
- SA = SINK HOLE
- RA = 1000 IN SET WITH TRANSFORMER
- RA = FLAG STAKE
- RA = ROUGH OF WAY
- SOB = SOUTH CAROLINA GEODESIC SURVEY
- SOB = SOUTH CAROLINA STATE PLANE COORDINATES
- TR = TELEPHONE Poles

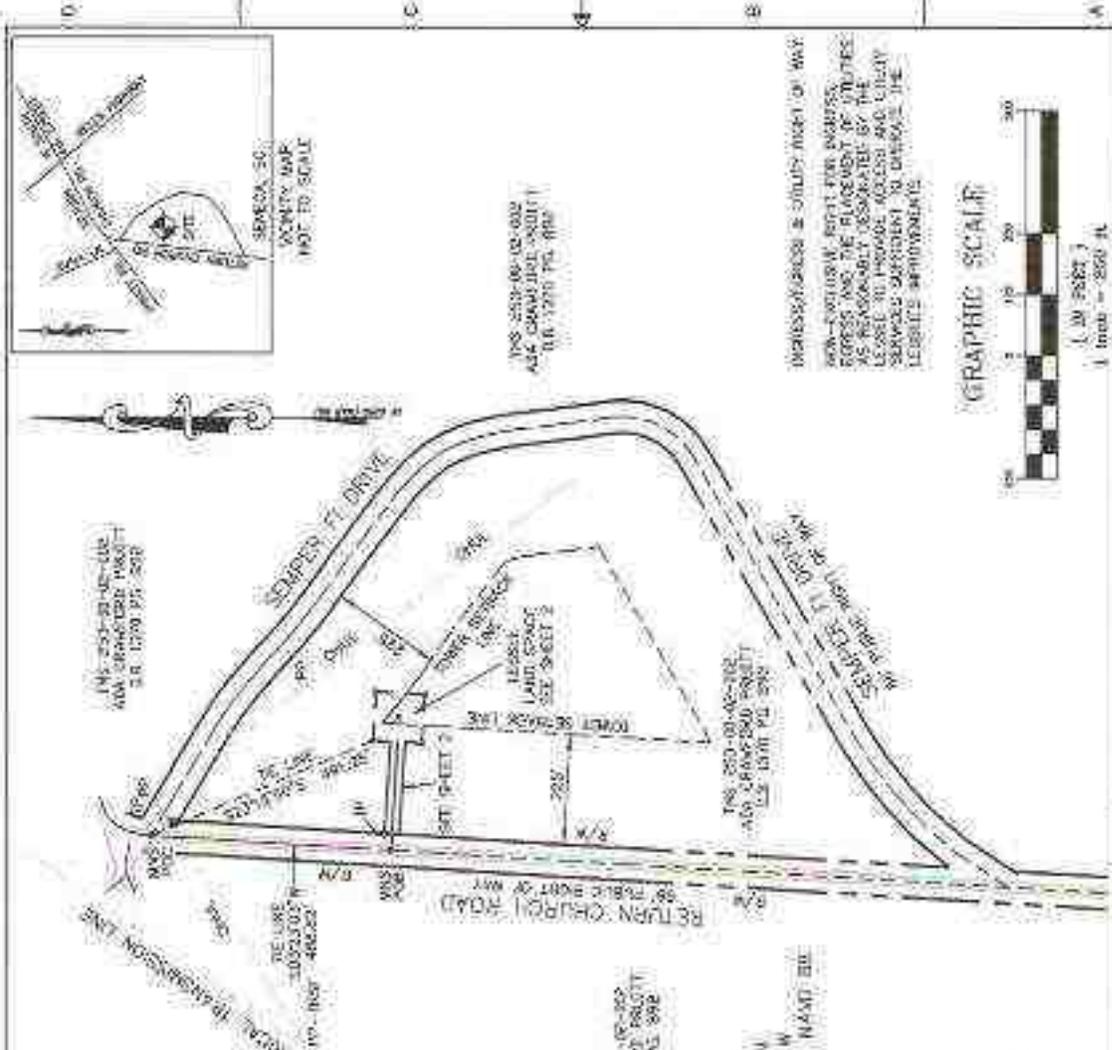
THIS WORK COMPLETED ON OCTOBER 10, 2024.
 THIS SURVEY WAS PREPARED AT THE REQUEST OF WHITLEY-HORN AND ASSOCIATES, INC.

I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF, THAT THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS & PRACTICE ACTUAL FOR SURVEYING IN SOUTH CAROLINA, AND THAT I AM A LICENSED PROFESSIONAL SURVEYOR IN CLASS "A" SURVEY AS SET FORTH IN TITLE 16, CHAPTER 27.

Michael E. Miska
 MICHAEL E. MISKA, PLS
 LICENSE NO. 28667
 DATE 3/20/20
 MEMBER, N.C. SURVEYING BOARD
 315 E. 333 STREET
 WILMINGTON, NC 28403
 TEL: 910-342-1100 FAX: 910-342-1101
 www.miskasurveying.com

Kimley»Horn
 A DIVISION OF KIMLEY-HORN AND ASSOCIATES, INC.
 315 SEMPER PARV DRIVE
 SEMECA, SC 29678
 TEL: 803-781-1100 FAX: 803-781-1101
 www.kimley-horn.com

SEMCEA HIGH
 315 SEMPER PARV DRIVE
 SEMECA, SC 29678
 DORCHESTER COUNTY, SC



NO.	DATE	BY	DESCRIPTION
1	10/10/24	ME	FINAL
2	10/10/24	ME	FOR PERMITS
3	10/10/24	ME	FOR RECORD

DATE: 10/10/24
 DRAWN BY: ME
 CHECKED BY: ME
 SCALE: AS SHOWN
 SHEET 1 OF 2

PROPOSED MONUMENT
 SITE SURVEY

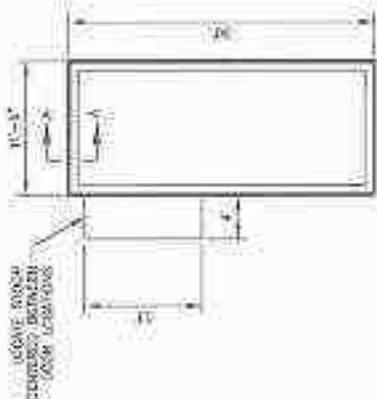


315 SEMPER PARV DRIVE
 SEMECA, SC 29678
 DORCHESTER COUNTY, SC

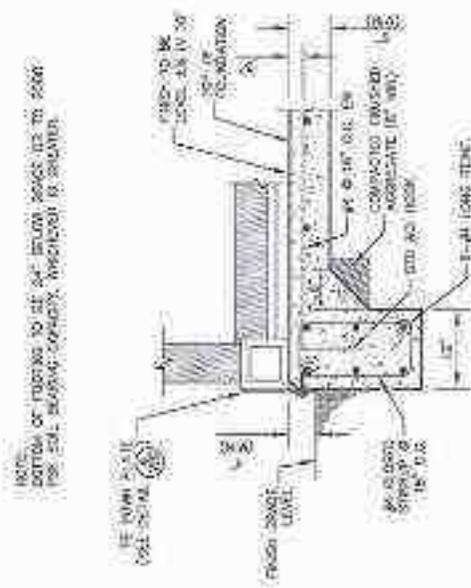
315 SEMPER PARV DRIVE
 SEMECA, SC 29678
 DORCHESTER COUNTY, SC

FOUNDATION NOTES

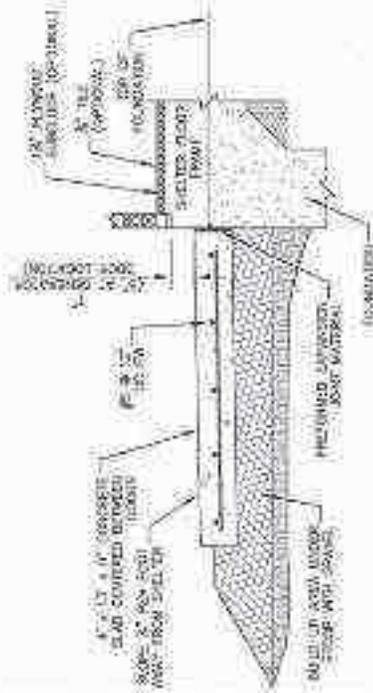
1. GENERAL
 - 1.1 FOUNDATIONS ARE DESIGNED FOR A PERMISSIBLE SOIL BEARING CAPACITY OF 2000 PSF. FOUNDATION SHALL BE CONSTRUCTED ACCORDING TO THE FOLLOWING NOTES.
 - 1.2 EXCAVATE A MINIMUM 18" BELOW PROPOSED FINISH FLOOR FINISH OF FOUNDATION. EXCAVATION SHALL BE BACKFILLED WITH COMPACTED GRANULAR FILL TO ORIGINAL GRADE. GRANULAR FILL SHALL BE 3/4" TO 1 1/2" MAXIMUM SIZE. GRANULAR FILL SHALL BE COMPACTED TO 95% RELATIVE DENSITY. GRANULAR FILL SHALL BE 3/4" TO 1 1/2" MAXIMUM SIZE. GRANULAR FILL SHALL BE 3/4" TO 1 1/2" MAXIMUM SIZE. GRANULAR FILL SHALL BE 3/4" TO 1 1/2" MAXIMUM SIZE.
 - 1.3 CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING, EXCAVATING, AND SETTING ALL FOUNDATION. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING, EXCAVATING, AND SETTING ALL FOUNDATION. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING, EXCAVATING, AND SETTING ALL FOUNDATION.
 - 1.4 CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING, EXCAVATING, AND SETTING ALL FOUNDATION. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING, EXCAVATING, AND SETTING ALL FOUNDATION.
 - 1.5 CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING, EXCAVATING, AND SETTING ALL FOUNDATION. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING, EXCAVATING, AND SETTING ALL FOUNDATION.
2. MATERIALS
 - 2.1 CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS AND SHALL BE 100% AIR ENTRAINMENT WITH THE LATEST STANDARD TEST METHOD. CONCRETE SHALL BE 100% AIR ENTRAINMENT WITH THE LATEST STANDARD TEST METHOD.
 - 2.2 CONCRETE SHALL HAVE A SLUMP BETWEEN 7" AND 9".
 - 2.3 REINFORCING BARS SHALL CONFORM TO THE LATEST STANDARD TEST METHOD AND SHALL BE 60,000 PSI YIELD STRENGTH WITH THE LATEST STANDARD TEST METHOD.
 - 2.4 REINFORCING BARS SHALL CONFORM TO THE LATEST STANDARD TEST METHOD AND SHALL BE 60,000 PSI YIELD STRENGTH WITH THE LATEST STANDARD TEST METHOD.
 - 2.5 REINFORCING BARS SHALL CONFORM TO THE LATEST STANDARD TEST METHOD AND SHALL BE 60,000 PSI YIELD STRENGTH WITH THE LATEST STANDARD TEST METHOD.
 - 2.6 REINFORCING BARS SHALL CONFORM TO THE LATEST STANDARD TEST METHOD AND SHALL BE 60,000 PSI YIELD STRENGTH WITH THE LATEST STANDARD TEST METHOD.
 - 2.7 REINFORCING BARS SHALL CONFORM TO THE LATEST STANDARD TEST METHOD AND SHALL BE 60,000 PSI YIELD STRENGTH WITH THE LATEST STANDARD TEST METHOD.
 - 2.8 REINFORCING BARS SHALL CONFORM TO THE LATEST STANDARD TEST METHOD AND SHALL BE 60,000 PSI YIELD STRENGTH WITH THE LATEST STANDARD TEST METHOD.
 - 2.9 REINFORCING BARS SHALL CONFORM TO THE LATEST STANDARD TEST METHOD AND SHALL BE 60,000 PSI YIELD STRENGTH WITH THE LATEST STANDARD TEST METHOD.
 - 2.10 REINFORCING BARS SHALL CONFORM TO THE LATEST STANDARD TEST METHOD AND SHALL BE 60,000 PSI YIELD STRENGTH WITH THE LATEST STANDARD TEST METHOD.
3. VERIZON STOOP DETAIL
 - 3.1 VERIZON STOOP DETAIL SHALL BE 18" HIGH AND 18" WIDE. VERIZON STOOP DETAIL SHALL BE 18" HIGH AND 18" WIDE.
 - 3.2 VERIZON STOOP DETAIL SHALL BE 18" HIGH AND 18" WIDE. VERIZON STOOP DETAIL SHALL BE 18" HIGH AND 18" WIDE.
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 - 3.5 VERIZON STOOP DETAIL SHALL BE 18" HIGH AND 18" WIDE. VERIZON STOOP DETAIL SHALL BE 18" HIGH AND 18" WIDE.
4. THE DOWN PLATE (FRONT VIEW)
 - 4.1 THE DOWN PLATE (FRONT VIEW) SHALL BE 18" HIGH AND 18" WIDE. THE DOWN PLATE (FRONT VIEW) SHALL BE 18" HIGH AND 18" WIDE.
 - 4.2 THE DOWN PLATE (FRONT VIEW) SHALL BE 18" HIGH AND 18" WIDE. THE DOWN PLATE (FRONT VIEW) SHALL BE 18" HIGH AND 18" WIDE.
 - 4.3 THE DOWN PLATE (FRONT VIEW) SHALL BE 18" HIGH AND 18" WIDE. THE DOWN PLATE (FRONT VIEW) SHALL BE 18" HIGH AND 18" WIDE.
 - 4.4 THE DOWN PLATE (FRONT VIEW) SHALL BE 18" HIGH AND 18" WIDE. THE DOWN PLATE (FRONT VIEW) SHALL BE 18" HIGH AND 18" WIDE.
 - 4.5 THE DOWN PLATE (FRONT VIEW) SHALL BE 18" HIGH AND 18" WIDE. THE DOWN PLATE (FRONT VIEW) SHALL BE 18" HIGH AND 18" WIDE.



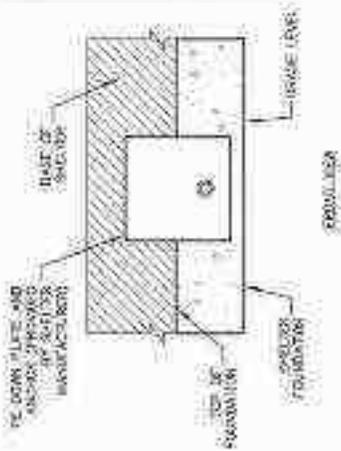
1. VERIZON FOUNDATION PLAN
NOT TO SCALE



2. SECTION 'A-A'
NOT TO SCALE



3. VERIZON STOOP DETAIL
NOT TO SCALE



4. THE DOWN PLATE (FRONT VIEW)
NOT TO SCALE

verizon wireless
WIRELESS COMMUNICATIONS

PROJECT NUMBER: VERIZON WIRELESS
PROJECT NAME: VERIZON WIRELESS
PROJECT LOCATION: VERIZON WIRELESS
PROJECT DATE: VERIZON WIRELESS

CONTRACT NUMBER: VERIZON WIRELESS
CONTRACT DATE: VERIZON WIRELESS
CONTRACT VALUE: VERIZON WIRELESS

Kimley-Horn
INCORPORATED
1000 W. 10TH AVENUE
DENVER, CO 80202

STATE OF COLORADO
REGISTERED PROFESSIONAL ENGINEER
NO. 10000
EXPIRES 12/31/2025

FOUNDATION & SHELTER TIE DOWN DETAILS

C3

verizon wireless
 THE MIND OF THE FUTURE
 TRANSFORM YOUR BUSINESS TODAY
 VISIT US TODAY

VERIZON WIRELESS
 1000 VERIZON DRIVE
 WASHINGTON, DC 20005
 (800) 972-4889

DATE: 03/19/15

CONSTRUCTION
 PROJECT: ROAD 109
 U.S. ROUTE 109
 WASHINGTON, DC

Kimley-Horn
 1000 VERIZON DRIVE
 WASHINGTON, DC 20005
 (800) 972-4889

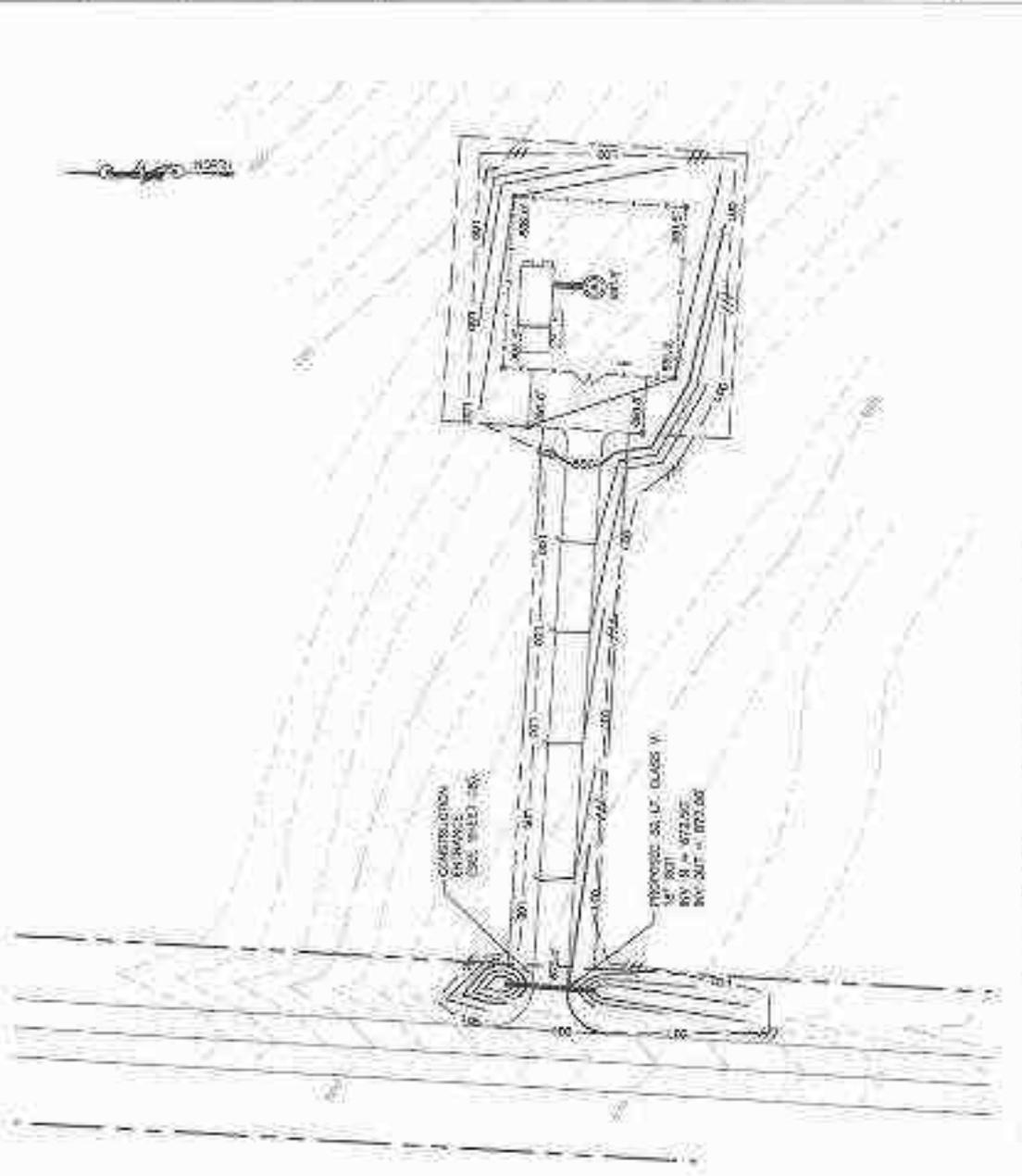


SCALE: 1" = 40'



GRADING &
 EROSION CONTROL
 PLAN

C6
 0



1 GRADING & EROSION CONTROL PLAN
 SCALE: 1" = 40'

NOTES:
 1. THE CONTRACTOR SHALL CLEAR AND GRIN THE SITE AND SITES, GRADEN, AND MOST BE COMPLETION ALL THE FOR THE ROAD AND EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF ALL EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF ALL EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF ALL EROSION CONTROL MEASURES.

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF ALL EROSION CONTROL MEASURES.
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6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF ALL EROSION CONTROL MEASURES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF ALL EROSION CONTROL MEASURES.

LEGEND

POINT-BY-POINT	---
PROPOSED CONTOURS	---
SILT FENCE	---
LOG	---
TRIP	---
EXISTING SPOT ELEVATIONS	---
PROPOSED SPOT ELEVATIONS	---

vertzoo wireless
 800-888-8888
 10000 W. 100th Ave.
 Golden, CO 80401

DATE: 03/19/15
 DRAWN BY: [Name]
 CHECKED BY: [Name]

CONSTRUCTION
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AISC STEEL CONSTRUCTION MANUAL AND THE AISC DESIGN GUIDE FOR BRIDGE STRUCTURES.

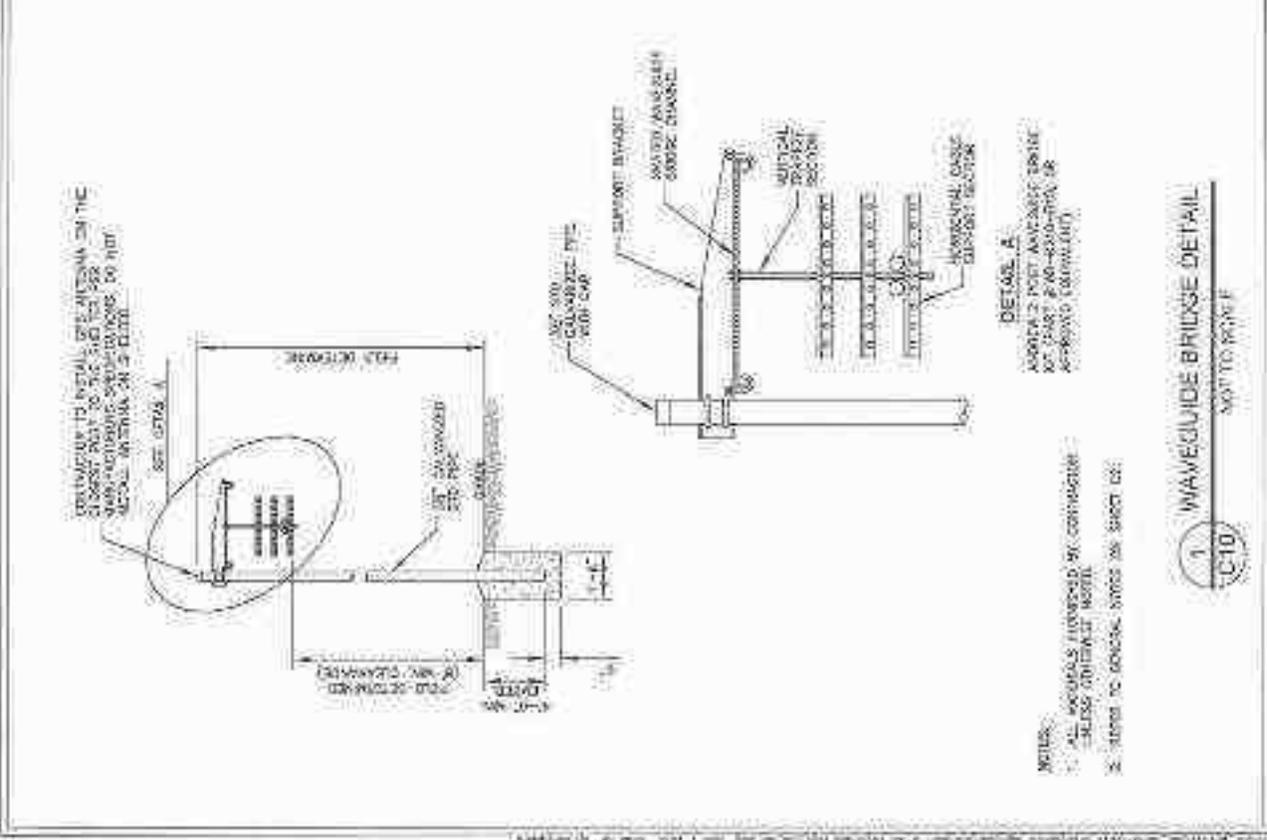
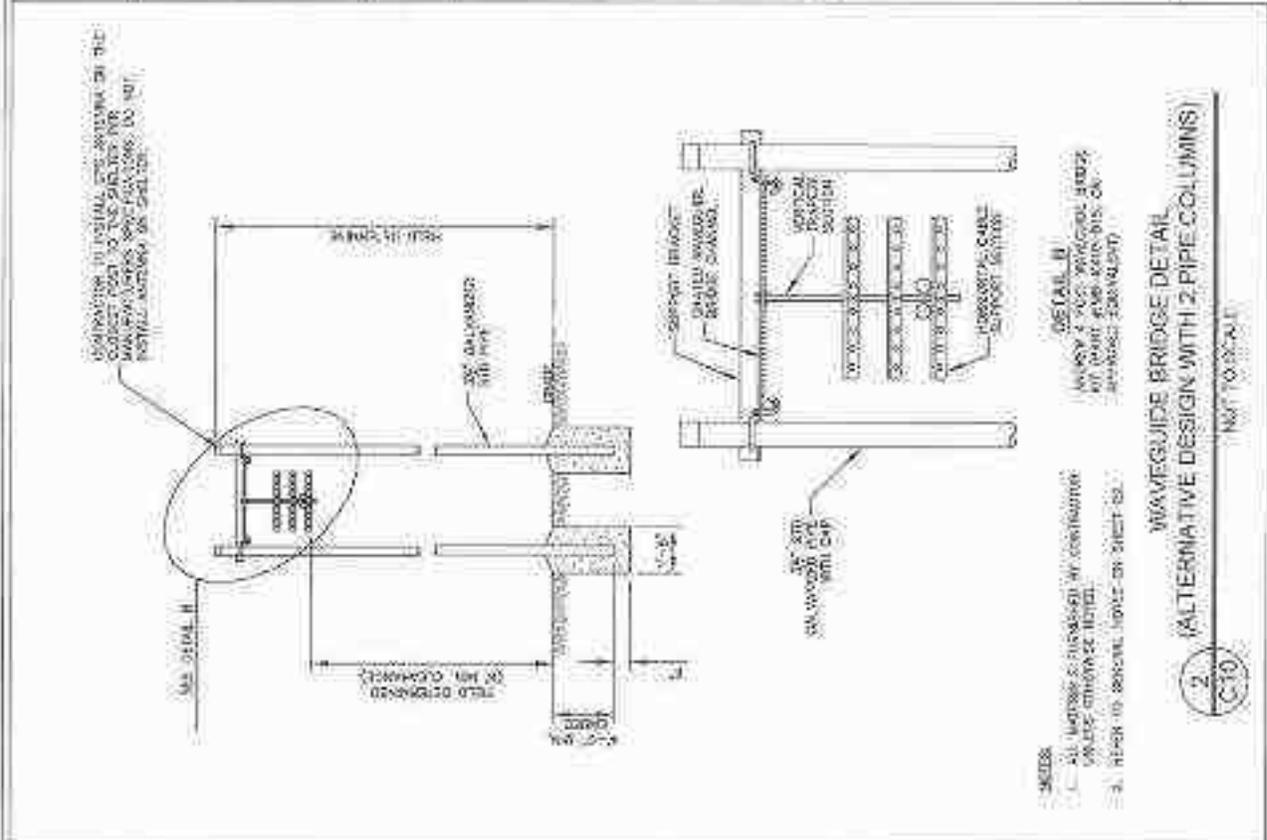
Kimley-Horn
 CONSULTING ENGINEERS
 10000 W. 100th Ave.
 Golden, CO 80401
 303-440-0000



SCALE: 1/4" = 1'-0"



WAVEGUIDE BRIDGE DETAILS
 SHEET NO. **C10** OF 0
 PROJECT NO. [Number]



NOTES:
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AISC STEEL CONSTRUCTION MANUAL AND THE AISC DESIGN GUIDE FOR BRIDGE STRUCTURES.
 2. REFER TO GENERAL NOTES ON SHEET [Number].

vertizon wireless
 QUALITY. EVERY DAY. EVERYWHERE.
 1-800-933-3343

PROJECT NUMBER:
 VERTIZON HOME
 VERONICA HARRIS
 6030 W. 10TH AVE. SUITE 100
 DENVER, CO 80202
 LOCAL: 303.755.3343
 TOLL FREE: 1-800-933-3343

PROJECT DATE: 3/18/15

DESCRIPTION:

NO.	DESCRIPTION	DATE
1	ISSUE FOR PERMITS	3/18/15

Kimley-Horn
 1400 SOUTH 10TH AVENUE
 DENVER, COLORADO 80202
 TEL: 303.733.1100
 FAX: 303.733.1101
 WWW.KIMLEY-HORN.COM

APOGEE
 1400 SOUTH 10TH AVENUE
 DENVER, COLORADO 80202
 TEL: 303.733.1100
 FAX: 303.733.1101
 WWW.APOGEEENGINEERING.COM



BASIC SERVICE ROUTING PLAN

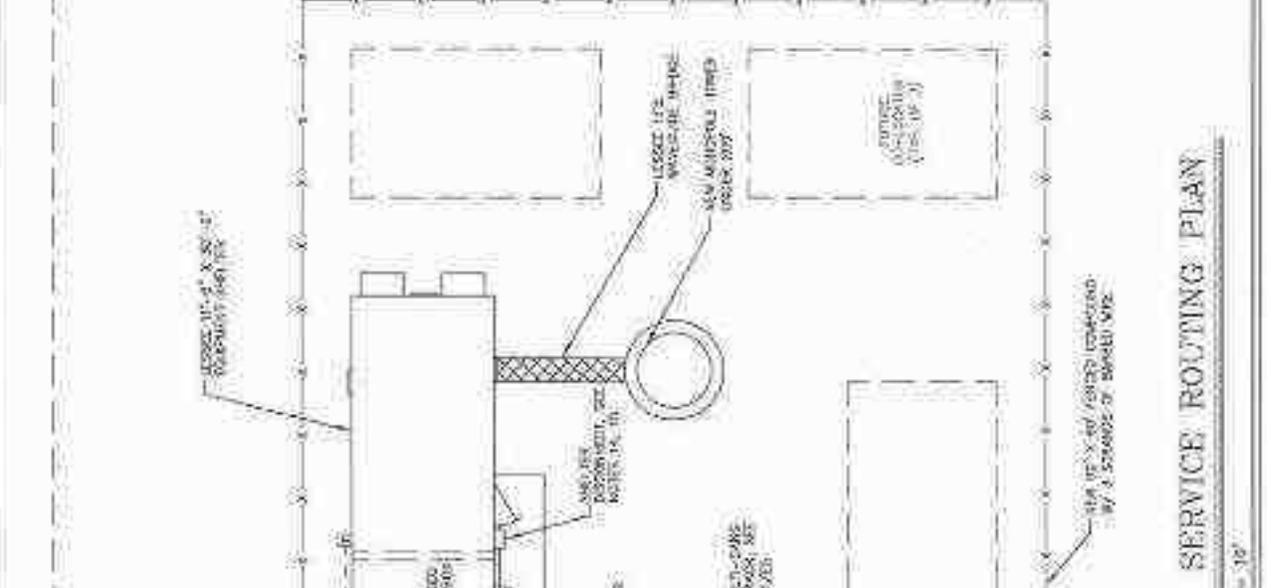
PROJECT NUMBER: **E1**
 SHEET NUMBER: **0**

NOTE AND SPECIFICATIONS:

1. ALL UTILITIES SHOWN SHALL VERIFY WITH THE CITY AND LOCAL AGENCIES AT THE DESIGN STAGES. UTILITIES AND SERVICE CONNECTIONS SHALL BE LAYOUT BY AN APPROVED THIRD PARTY CONSULTING ENGINEER.
2. CONTRACTOR SHALL VERIFY ALL UTILITIES, CONNECTIONS AND SERVICE CONNECTIONS WITH THE LOCAL UTILITY COMPANIES AND PROVIDE ACCESS TO ALL UTILITIES.
3. CONTRACTOR SHALL VERIFY ALL UTILITIES, CONNECTIONS AND SERVICE CONNECTIONS WITH THE LOCAL UTILITY COMPANIES AND PROVIDE ACCESS TO ALL UTILITIES.
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17. CONTRACTOR SHALL VERIFY ALL UTILITIES, CONNECTIONS AND SERVICE CONNECTIONS WITH THE LOCAL UTILITY COMPANIES AND PROVIDE ACCESS TO ALL UTILITIES.
18. CONTRACTOR SHALL VERIFY ALL UTILITIES, CONNECTIONS AND SERVICE CONNECTIONS WITH THE LOCAL UTILITY COMPANIES AND PROVIDE ACCESS TO ALL UTILITIES.

ROUTING NOTES:

1. CONTRACTOR TO VERIFY THAT ALL UTILITIES ARE MARKED TO EXIST AND PROVIDE ACCESS TO ALL UTILITIES.
2. CONTRACTOR TO VERIFY THAT ALL UTILITIES ARE MARKED TO EXIST AND PROVIDE ACCESS TO ALL UTILITIES.
3. CONTRACTOR TO VERIFY THAT ALL UTILITIES ARE MARKED TO EXIST AND PROVIDE ACCESS TO ALL UTILITIES.
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18. CONTRACTOR TO VERIFY THAT ALL UTILITIES ARE MARKED TO EXIST AND PROVIDE ACCESS TO ALL UTILITIES.



BASIC SERVICE ROUTING PLAN

SCALE: 1" = 10'



VERTIZON HOME
 VERONICA HARRIS
 6030 W. 10TH AVE. SUITE 100
 DENVER, CO 80202
 LOCAL: 303.755.3343
 TOLL FREE: 1-800-933-3343

PHOTOS FROM SITE
LOOKING FROM THE NORTH



LOOKING FROM THE EAST



LOOKING FROM SOUTH



LOOKING FROM WEST



INGRESS



EGRESS



Network Operations



Verizon Wireless
8921 Research Drive
Charlotte, North Carolina 28262

Phone 704 510-8500

April 19, 2015

Oconee County Planning Department
415 S. Pine Street
Walhalla, SC 29691

Re: Compliance and Authorization Letter for Verizon Wireless site:
Seneca High, PIN: 253-00-02-002

Dear Mr. Anspach:

Verizon Wireless authorizes Faulk & Foster and its employees and agents, including Ivan Mousaw, Zoning Specialist to file applications and to sign documentation necessary to obtain zoning and permitting approvals for the proposed project at this site.

Verizon Wireless also makes the following statements:

- The facility will be operated in accordance with all applicable federal, state, and local laws and regulations, to include ANSI, FCC, and IEEE standards;
- Verizon Wireless will expeditiously remedy any physical or RF interference with other telecommunications or wireless devices;
- There are no existing towers, structures or alternative technologies that can accommodate Verizon's proposed antenna;
- Verizon Wireless is committed to providing high quality service to the residents of Oconee County and monitors the quality of service throughout its system. The proposed tower meets a currently identified need and there are no additional locations planned to address this need in the event the proposed tower is erected. Once the tower is erected Verizon will continue to monitor its service and may propose future additions to its system in this area in the event it becomes necessary;
- The proposed tower will accommodate co-location of antennas for at least three (3) comparable future users at a reasonable rate;
- Verizon Wireless agrees to make a good faith effort to share wireless communication structures, facilities and sites where feasible and appropriate. Good faith effort shall include sharing technical information necessary to determine if co-location is feasible under the design configuration most accommodating to co-location, and may include negotiations for erection of a replacement support structure to accommodate co-location. A competitive conflict to co-location or financial burden caused by sharing such information normally will not be considered as an exception to the duty of good faith.

Thank you for your consideration.

Sincerely,

De'Chancela E. Williams
Verizon Real Estate



April 22, 2015

RE: Verizon Wireless Proposed Tower (Seneca High)

To Whom It May Concern:

The objective of this site is to provide an acceptable grade of service to Verizon customers in the local service area by offloading the heavy traffic at neighboring Verizon sites. Verizon always attempts to meet this objective by collocating on existing structures before constructing a new tower. Unfortunately, in this situation, no existing structures currently exist within our search area, which would allow us to meet the required objectives.

The issued search ring is very site specific. An exhaustive search and thorough review of the proposed search ring was made. There are no existing towers located within at least 1500 ft. of the designated search area. There are no other structures such as water tanks, high rise buildings, electric transmission lines, or any other alternative technology not requiring the use of towers or structures, which could provide the service intended to be provided through the use of this proposed new tower. Multiple properties within the search ring were considered for the new tower but eliminated for various reasons, including their inability to meet setback requirements or unwilling property owners.

Sincerely,

Ivan Mousaw
Zoning Specialist
Phone: 704.277.7026

Faulk & Foster | www.faulkandfoster.com



Proof of Need.

Seneca High Site

The federal telecommunications act and FCC rules require that Verizon Wireless achieve service throughout Oconee, SC-1 RSA service area, which includes Oconee County, South Carolina. While Verizon Wireless has achieved a degree of coverage in Oconee, SC-1 RSA licensed area, it is also imperative to provide adequate capacity to the service area for both voice and data. The Richland SC1 site requires capacity relief. Verizon Wireless' goal is to maintain an industry standard level of coverage and capacity throughout its licensed coverage area, including Oconee County, South Carolina. The standard level of average network-to-device, or download, speeds range from 5 to 12 Mbps (Mega bits per second) and average device-to-network, or upload, speeds range from 2 to 5 Mbps utilizing LTE (Long Term Evolution) technology. An off-load capacity site is required once the frequency spectrum at a particular site is fully utilized and demand continues to increase. Our capacity planners determined Richland SC1 exhausted its frequency spectrum end of year 2014.

LTE provides the fastest data speeds. You must be using a 4G LTE device and be within the 4G LTE coverage area in order to access the 4G LTE network. LTE achieves faster data rates by utilizing multiple modulation schemes. QPSK, 16QAM, and 64QAM are the modulation schemes used. 64QAM provides the fastest data rates while QPSK provides the slowest. However, in order to maintain standard industry data rates, Verizon Wireless needs to maintain the available capacity on the network in order to offer mobile devices 64QAM modulation. Once the LTE capacity on a given site is exhausted, the data rate will drop to the slowest speed and then begin blocking the service request. LTE also carries voice calls.

Today's consumer demands voice and data devices capable of delivering data intensive applications, video, streaming media, video messaging, video telephony, and real-time video conferencing and collaboration. All these demands are met utilizing bandwidth and better throughput achieved with sufficient capacity. Capacity is exhausted on a cell-site once the number of users that can be served on a given cell site has reached a maximum and throughput standards can't be maintained. Verizon Wireless would like to minimize the effects of reduced capacity shown by websites taking too long to load and/or timing out, emails unable to download or send, and issues with voice calls. All are the result of a need for additional capacity. Our planners determined exhaustion on the Richland SC1 cell at end of year 2014.

We have conducted an extensive engineering study of this area to search and find the best location for an existing communications facility in order to provide capacity and coverage in this area. Verizon has a bona fide need to build and operate this communication facility in order to provide the necessary level of service in this area.

Network Operations



Verizon Wireless
8921 Research Drive
Charlotte, North Carolina 28262

Phone 704 510-8500

April 19, 2015

Oconee County Planning Commission
415 S. Pine Street
Walhalla, South Carolina 29691

Site Name: Seneca High

Site Landowner: ADA Crawford Pruitt

Site Location: 215 Semper Fi Drive, Seneca, SC 29678 (PIN: 253-00-02-002)

To Whom It May Concern:

Verizon Wireless is proposing to construct a new 150' Monopole (159' at highest appurtenance) at the location listed above. The FAA does not require us to file a Determination Letter due to our overall tower height being 159' and the closest airport is over 5 miles away for the proposed tower site.

Who Needs to File

[14 CFR Part 77.9](#) states that any person/organization who intends to sponsor any of the following construction or alterations must notify the Administrator of the FAA:

- any construction or alteration exceeding 200 ft above ground level
- any construction or alteration:
 - within 20,000 ft of a public use or military airport which exceeds a 100:1 surface from any point on the runway of each airport with its longest runway more than 3,200 ft
 - within 10,000 ft of a public use or military airport which exceeds a 50:1 surface from any point on the runway of each airport with its longest runway no more than 3,200 ft
 - within 5,000 ft of a public use heliport which exceeds a 25:1 surface
- any highway, railroad or other traverse way whose prescribed adjusted height would exceed the above noted standards
- when requested by the FAA
- any construction or alteration located on a public use airport or heliport regardless of height or location.

Respectfully Submitted,

De'Chancela E. Williams
Verizon Real Estate

TOWAIR


Federal Communications Commission

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Antenna Structure Registration

[FCC](#) > [WTB](#) > [ASR](#) > [Online Systems](#) > TOWAIR

[FCC Site Map](#)

TOWAIR Determination Results

[? HELP](#)

[New Search](#) [Printable Page](#)

* * * NOTICE * * *

TOWAIR's findings are not definitive or binding, and we cannot guarantee that the data in TOWAIR are fully current and accurate. In some instances, TOWAIR may yield results that differ from application of the criteria set out in 47 C.F.R. Section 17.7 and 14 C.F.R. Section 77.13. A positive finding by TOWAIR recommending notification should be given considerable weight. On the other hand, a finding by TOWAIR recommending either for or against notification is not conclusive. It is the responsibility of each ASR participant to exercise due diligence to determine if it must coordinate its structure with the FAA. TOWAIR is only one tool designed to assist ASR participants in exercising this due diligence, and further investigation may be necessary to determine if FAA coordination is appropriate.

DETERMINATION Results	
Structure does not require registration. There are no airports within 8 kilometers (5 miles) of the coordinates you provided.	
Your Specifications	
NAD83 Coordinates	
Latitude	34-40-05.0 north
Longitude	082-59-05.0 west
Measurements (Meters)	
Overall Structure Height (AGL)	60.7
Support Structure Height (AGL)	NaN
Site Elevation (AMSL)	269.7
Structure Type	
LTOWER - Lattice Tower	

Tower Construction Notifications

Notify Tribes and Historic Preservation Officers of your plans to build a tower.

ASR Registration Search

Registration Search Results

Displayed Results

No matches found

 = Pending Application(s)

To try again, you can perform a [new search](#) or [refine your existing search](#).

Specified Search

Latitude='34-40-05.1 N', Longitude='82-59-04.9 W', Radius=0.4 Kilometers

CLOSE WINDOW



9221 Lyndon B. Johnson Freeway, #204, Dallas, TX 75243 ★ PHONE 972-231-8893 ★ FAX 1-866-364-8375
www.allprocgi.com ★ e-mail: info@allprocgi.com

April 23, 2015

Oconee County
Department of Planning and Zoning
415 South Pine ST, Walhalla, SC 29691

Ref: *Site Name – Seneca High – 150' Monopole (159' with appurtenance)*
ACGI# 15-2062
Jurisdiction: Oconee County, SC
Site Address: 215 Semper FI Drive, Seneca, SC 29678
Scope of Work: Tower Specification Letter
Applicable Code: IBC2012 & ASCE 7-10, Risk Category II, TIA/EIA-222-G
Wind Speed: TIA-222-G (90 mph wind speed), IBC 2012 (115 mph Ultimate wind speed),
Exposure "C"

This letter is provided in reference to the above mentioned site for the following specifications:

1. The purpose of this tower is to support telecommunication antenna equipment for cellular coverage of the affected area.
2. Above reference tower to be designed to meet or exceed industry standards defined by TIA/EIA-222-G, "Standard Standards for Steel Antenna Towers and Antenna Supporting Structures" (EIA Standard).
3. The total height of tower is 159' (with appurtenance). All site location data to be re-verified by survey.
4. Above reference tower to be designed for total of (12) LESSEE Antennas, (4) per sector at 150' Elevation above ground.
5. This tower to be designed using the following minimum wind speed criteria as defined by EIA for *Oconee County, SC*:
 - a) 90 mph 3-second-gust wind speed with no ice.
 - b) 30 mph with 0.7500 in. ice.

The "3-second-gust wind speed refers to a wind measured at 33 ft above the ground. Equations in EIA Standard take into account that the wind speed escalates with the increasing height of the tower.

6. In our opinion the possibility of a tower collapse is very unlikely. The tower to be designed using extreme wind and ice conditions. The wind speeds specified by EIA Standard are 50-years wind speeds. That is they have only a 2% statistical chance of occurring in any given year.
7. Although we cannot guarantee exactly how a tower would fall if it were to fail, but the most likely mode of failure will be buckling failure of one of the tower sections (weakest section) due to excessive compression loading. The tower is to be designed so that the fall radius remains within 70% of the total tower height.

If you have any other questions or concerns regarding our recommendations, please contact us.

Sincerely,
Oliver Li
04/23/2015



Approved by:
Joji George, P.E
SC PE # 26840

Site Impact Analysis

A proposed 150' Monopole Communication Tower
Verizon Wireless Site Name: Seneca High

To be located at:
215 Semper Fi Drive, Seneca, South Carolina 29678
Verizon Site #: TBD
TM # 253-00-02-002

Prepared for:

Kimley-Horn and Associates, Inc.
2 Sun Court, Suite 450
Norcross, Georgia 30092

Date of Balloon Test: April 9, 2015

Mr. Keith Markland, Kimley-Horn & Associates, Inc.

RE: Site Impact Analysis (Balloon Test and Photo-simulations) in connection with a proposed 150' monopole communication tower to be located off of Semper Fi Drive, Seneca, South Carolina consisting of views from various Locations.

Dear Mr. Markland,

Per your request, we conducted a Site Impact Analysis (balloon test and photo-simulations) on April 9, 2015. This analysis was conducted by floating a red balloon approximately 32"- 36" in diameter at a height of 150' at the proposed tower location.

The site is accessed from Return Church Rd and goes into the Pruitt property heading east approximately 225 feet.

The test was conducted in the late morning (11:00 am) through the early afternoon (2:00 pm) of April 9th. The weather was sunny with light clouds and wind conditions were mildly breezy for the most part with brief, intermittent periods of relative calm. There were occasional gusts of wind.

The Intellicast Weather Observations (www.intellicast.com) for this time period indicated a North Westerly wind averaging approximately 6 mph during the first hour of the test and a North Westerly wind averaging approximately 9 mph during the latter two hours with occasional gust of about 14 mph during the last hour.

The procedure for the balloon test was as follows: We arrived on site Thursday morning, April 9th, to inspect the site, which was marked at the four corners by surveyor's tape and with a wooden stake and tape at the spot where the tower would be located. We set up the balloon test area and equipment then promptly launched the balloon at 11am. We drove the entire area within a 1 mile radius of the site and marked on a map the seven locations that were the most visible. We then took photos at each of those locations so that photosims could be created.

Attached to this report is an aerial map showing each viewpoint location along with a list of each location identified by a description and its coordinates. Each view location is numbered to correspond to the vantage point where photos were taken and from which photo-simulations were composed.

Please see the Google Earth map, DeLorme Street map and Viewpoint Location List accompanying this report.

Regarding the photos, I would typically remain at a given Location for several minutes and took numerous photos in order to have an optimal view of the balloon. Apart from visual observations, I was in frequent communication with my assistant who remained at the balloon tether site/proposed tower location the whole while. He was able to confirm when the balloon was at its full height, the most opportune time to take a picture, or drifting and being blown by the wind.

I would note that, due to the time of year, most deciduous trees were not yet in bloom or were in the early bud stage.

Please feel free to contact me at your convenience should you have any questions or comments.

Sincerely,

David Best for Chase Real Estate Services,

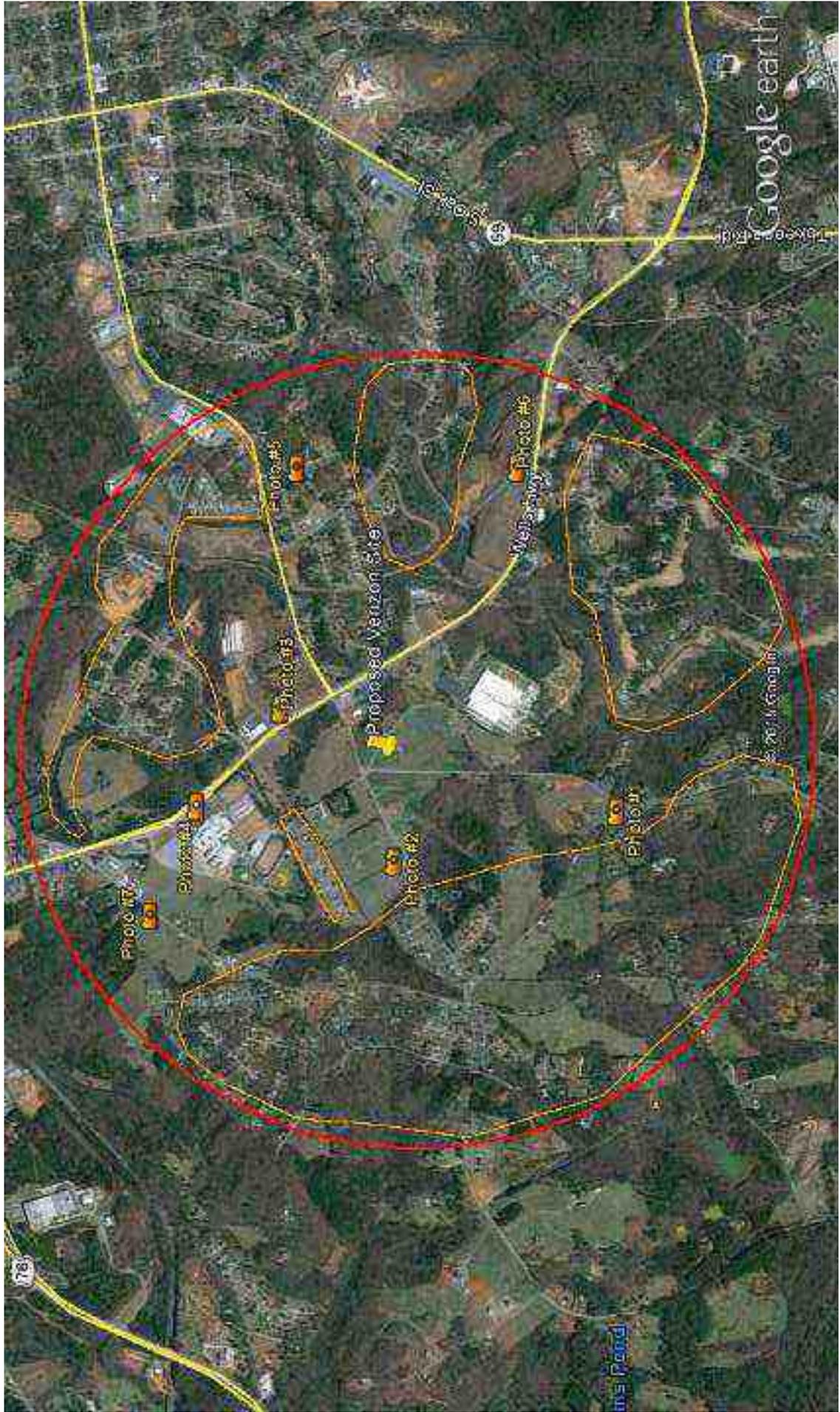
A handwritten signature in cursive script that reads "David Best". The signature is written in black ink and is positioned below the typed name.

Proposed Seneca High Cell Tower

Proposed 150' Monopole Coordinates: N34-40-05.1 / W82-59-04.9

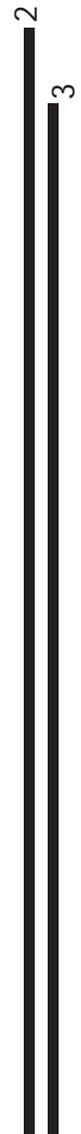
Viewpoints/Location Numbers for Balloon Test Photos

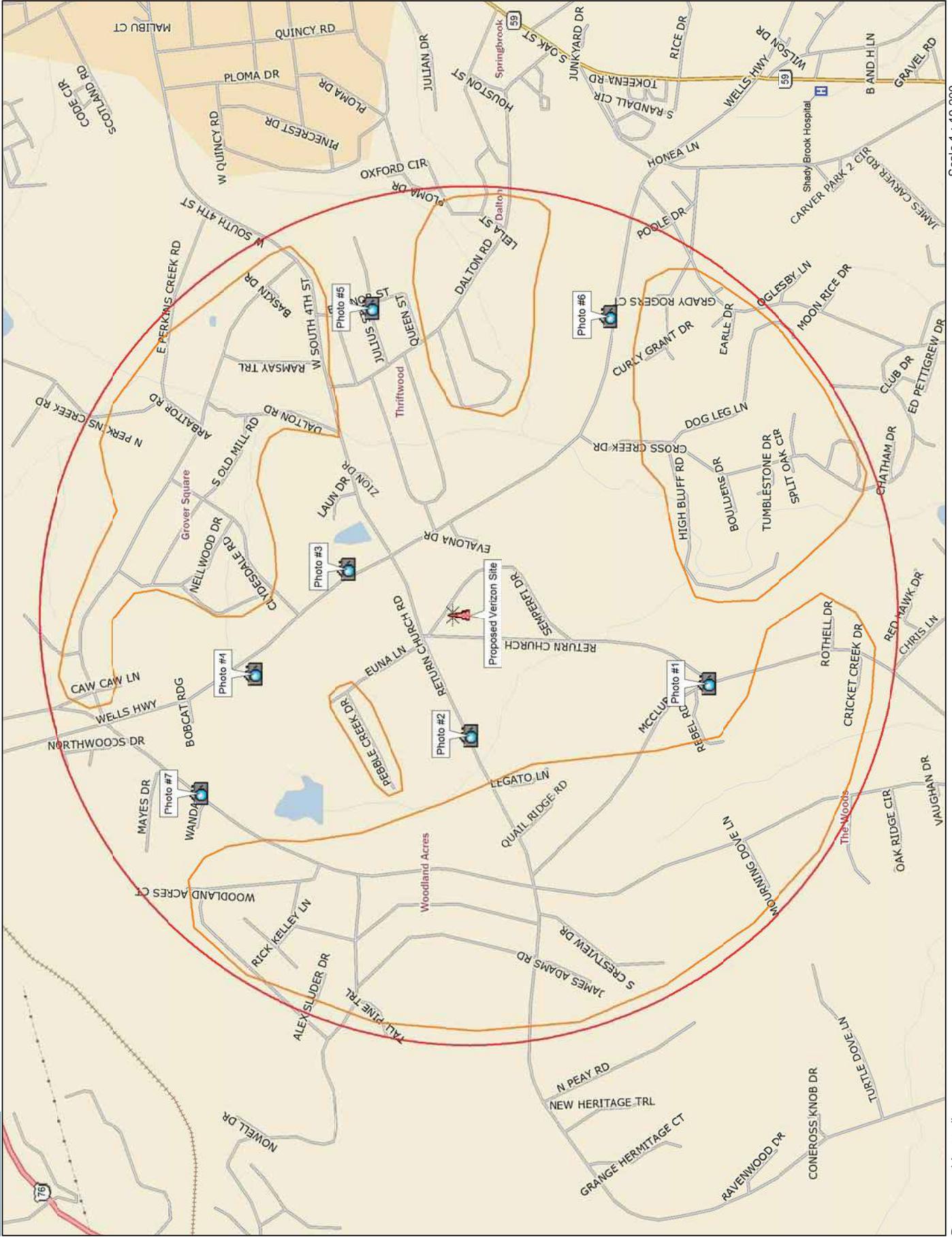
1. Intersection of Return Church Rd & McClure Rd	N34-39-36.21/W82-59-14.97
2. At Approximately 532 Pruitt Rd	N34-40-5.07/W82-59-22.64
3. Office building just south of Carolina Plumbing Supply on Wells Highway	N34-40-19.90/W82-58-58.03
4. Parking lot in front of Seneca High School	N34-40-31.21/W82-59-13.57
5. Crest of hill on Julius St near B Minor St	N34-40-17.04/W82-58-19.58
6. Intersection of Wells Highway & Lancaster Dr.	N34-39-48.14/W82-58-20.78
7. Across the street from 13030 Radio Station Rd	N34-40-37.79/W82-59-31.18



Google earth

miles
km





150ft. Balloon Test



SENECA HIGH

215 Semper Fi Drive, Seneca, SC 29678

150ft. MONOPOLE SIMULATION

View #1 from Return Church & McClure Rd
approximately 3,000 south of site



150ft. Balloon Test



SENECA HIGH
215 Semper Fi Drive, Seneca, SC 29678
150ft. MONOPOLE
SIMULATION
View #2 from Return near 532 Pruitt Road
approximately 1,500 west of site
verizonwireless

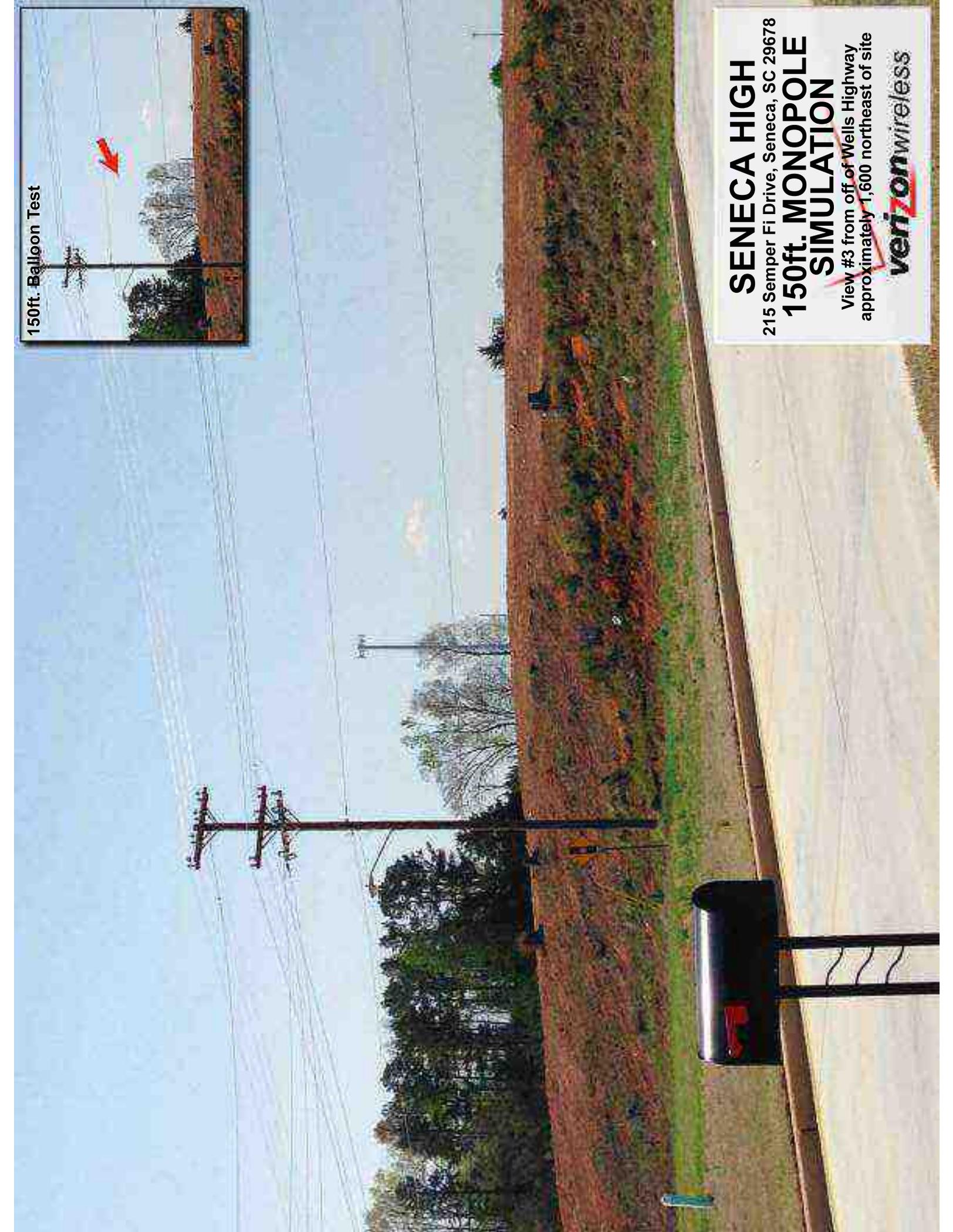
150ft. Balloon Test



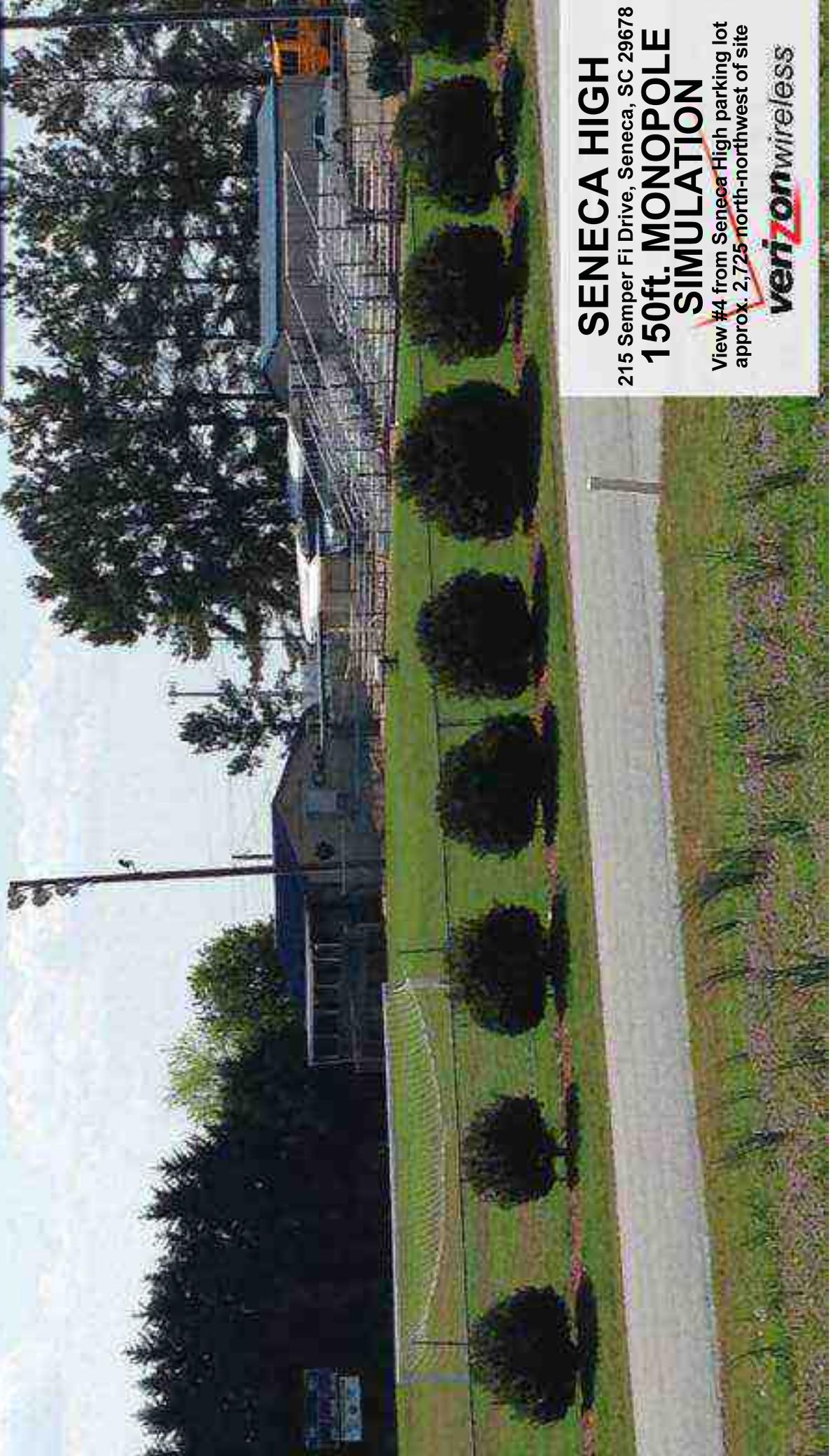
SENECA HIGH
215 Semper Fi Drive, Seneca, SC 29678

**150ft. MONOPOLE
SIMULATION**

View #3 from off of Wells Highway
approximately 1,600 northeast of site



150ft. Balloon Test

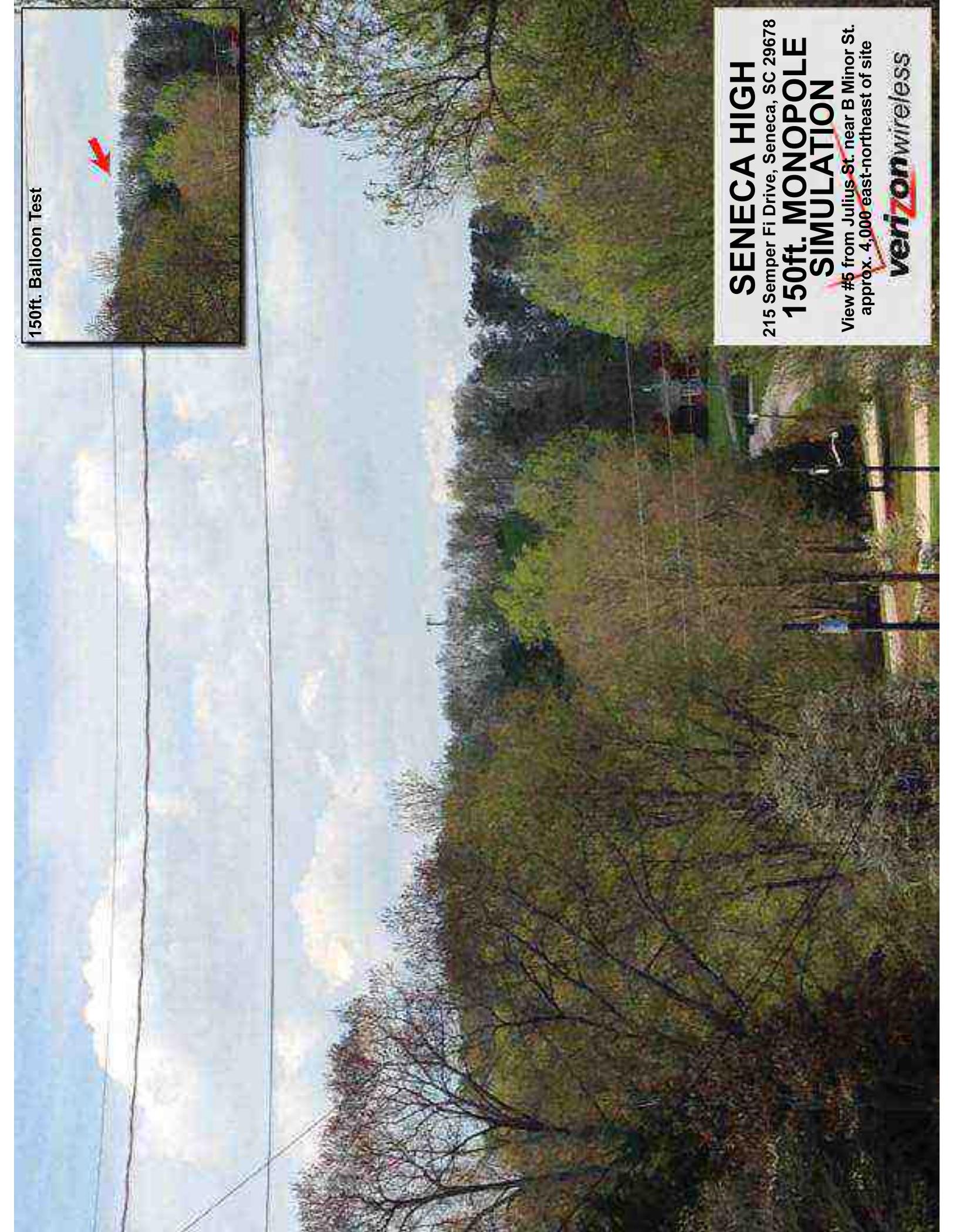


SENECA HIGH
215 Semper Fi Drive, Seneca, SC 29678
**150ft. MONOPOLE
SIMULATION**
View #4 from Seneca High parking lot
approx. 2,725 north-northwest of site
verizonwireless

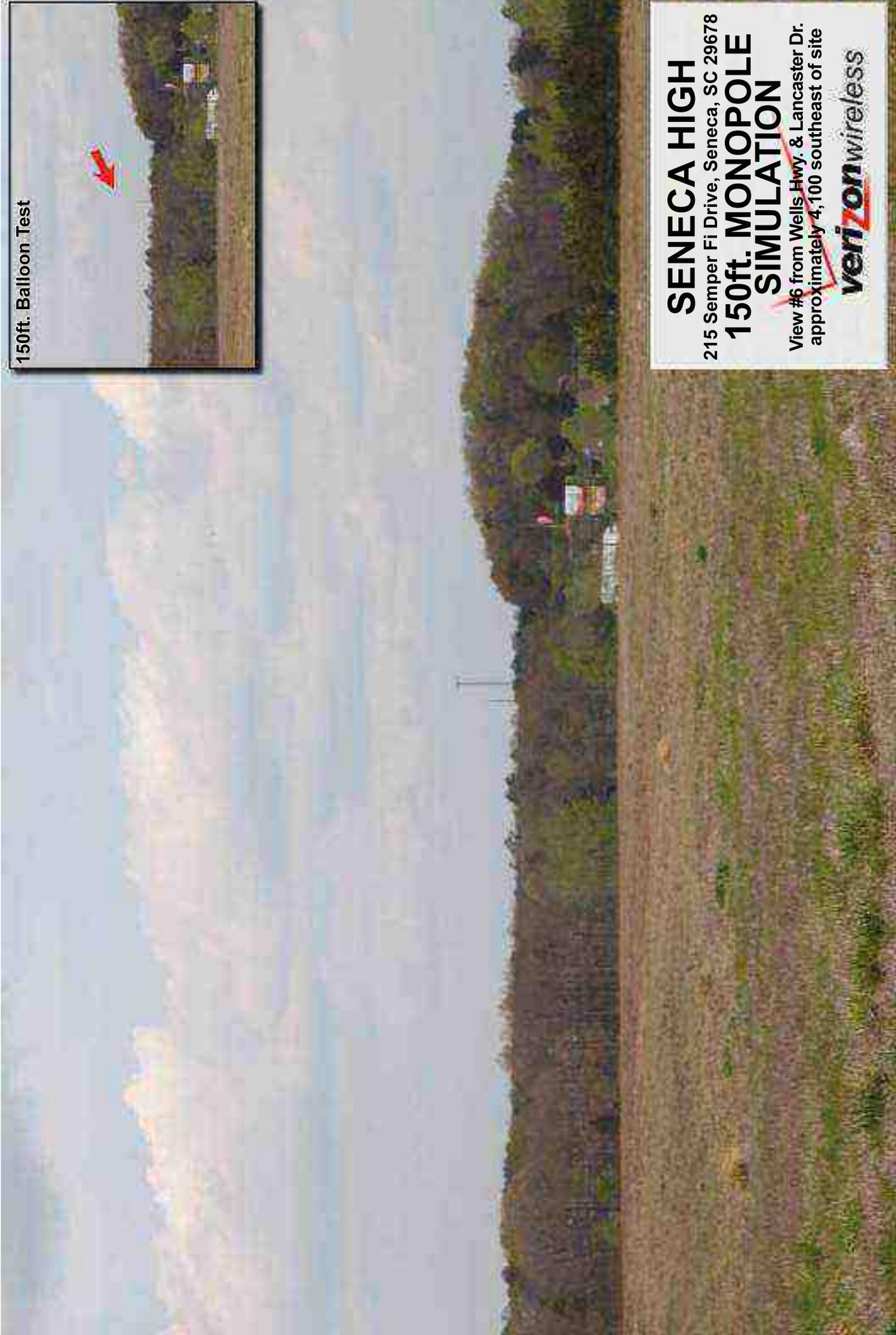
150ft. Balloon Test



SENECA HIGH
215 Semper Fi Drive, Seneca, SC 29678
**150ft. MONOPOLE
SIMULATION**
View #5 from Julius St. near B Minor St.
approx. 4,000 east-northeast of site



150ft. Balloon Test



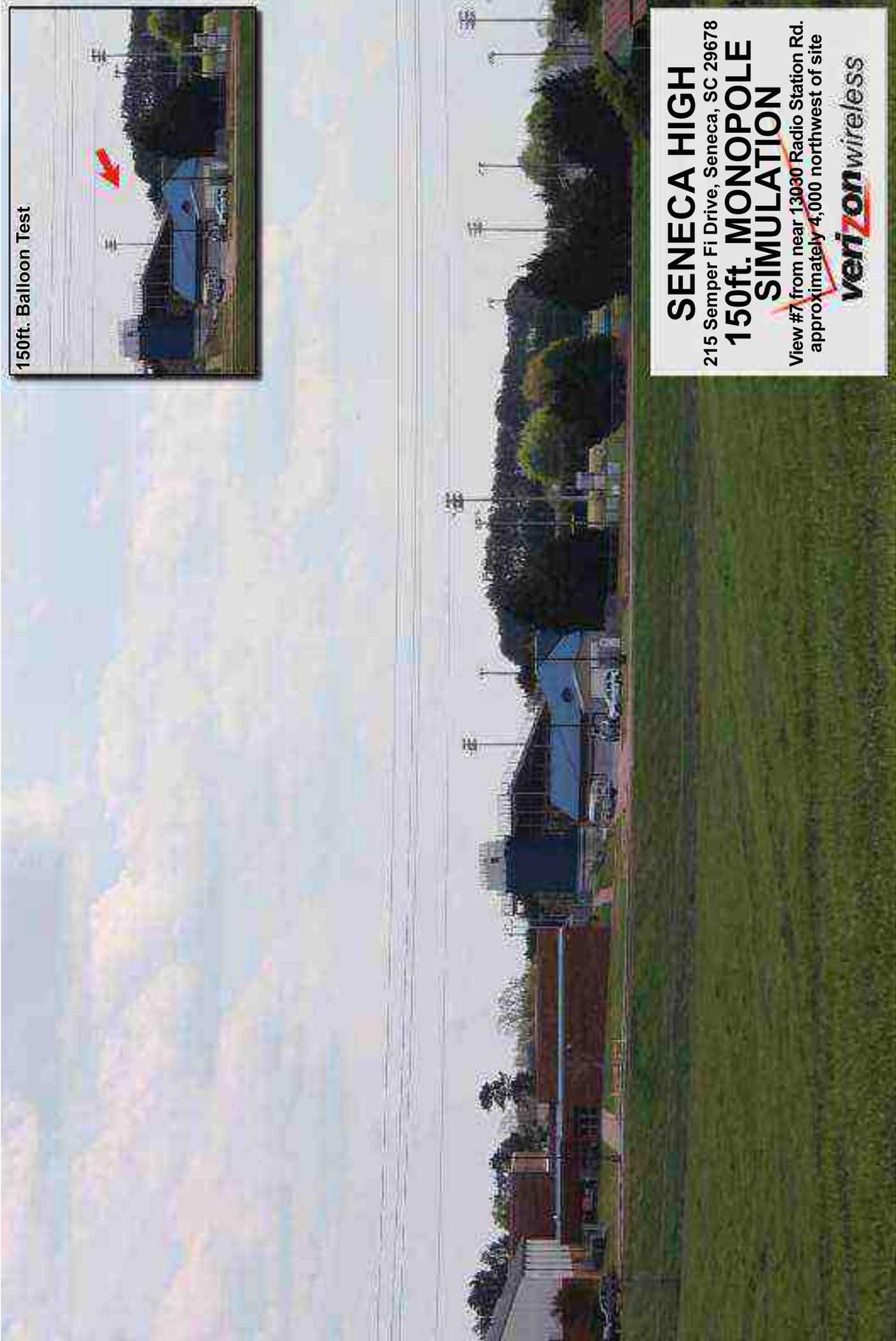
SENECA HIGH
150ft. MONOPOLE
SIMULATION

215 Semper Fi Drive, Seneca, SC 29678

View #6 from Wells Hwy. & Lancaster Dr.
approximately 4,100 southeast of site



150ft. Balloon Test



SENECA HIGH
215 Semper Fi Drive, Seneca, SC 29678
**150ft. MONOPOLE
SIMULATION**
View #7 from near 13030 Radio Station Rd.
approximately 4,000 northwest of site
verizonwireless

THE JOURNAL

210 W. North 1st Street, Seneca, SC 29678
Ph. 864.882.2375 Fax: 864.882.2381
classadmgr@upstatetoday.com

UpstateToday.com

Classified Advertising Invoice

OCONEE COUNTY COMMUNITY DEVELOPM
415 S PINE ST
JOSH STEPHENS
WALHALLA, SC 29691

Acct#:63480
Ad#:13109
Phone#:864-364-5109
Date:05/08/2015

Salesperson: JPADUZZI

Classification: Legals

Ad Size: 1.0 x 1.80

Advertisement Information:

Description	Start	Stop	Ins.	Cost/Day	Total
The Journal	05/09/2015	05/09/2015	1	23.13	23.13
Affidavit Fee	-	-	-	-	5.00

Payment Information:

Date: 05/08/2015 Order#: 13109 Type: BILLED ACCOUNT

Total Amount: 28.13

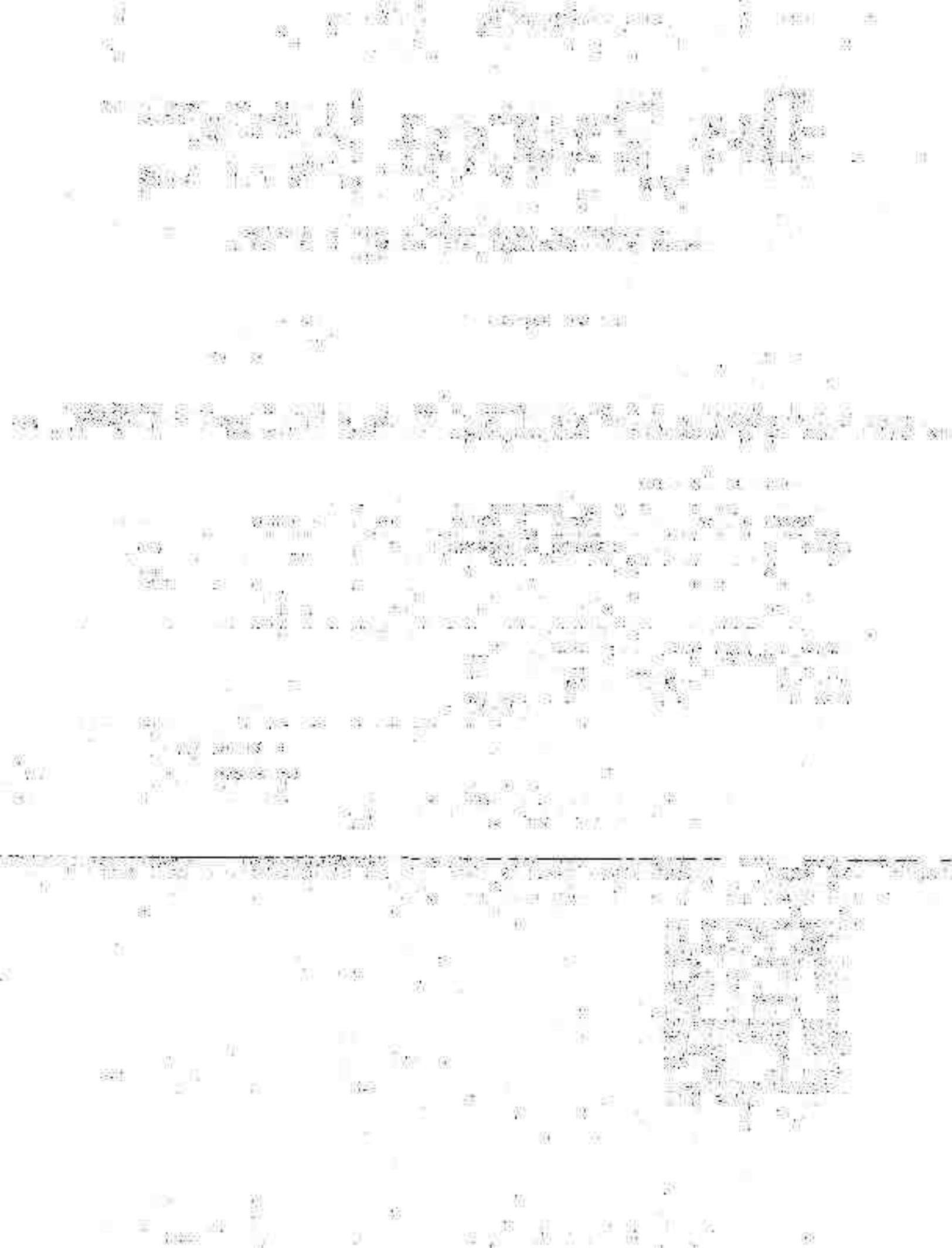
Amount Due: 28.13

Comments: Public Hearing - 5/28/15 - IN RE: Cell Tower

Attention: Please return the top portion of this invoice with your payment including account and ad number.

Ad Copy

The Oconee County Board of Zoning Appeals will conduct a public hearing on Thursday, May 28th, 2015 at 6:00 p.m. in the Council Chambers of the County Administration Complex, 415 S. Pine Street, Walhalla, SC 29691. The applicant, Faulk and Foster Fuel Estate, Inc. and Vanzon Winchess, is requesting a Special Exception and Variance regarding a proposed cell tower to be located at 215 Soper H Dr., Seneca, SC 29678. (TMS# 253-00-02-002). If you would like additional information concerning this request please contact the Community Development Director at 864-886-4216.



PUBLISHER'S AFFIDAVIT

STATE OF SOUTH CAROLINA
COUNTY OF OCONEE

OCONEE COUNTY COMMUNITY DEVELOPM

IN RE: Public Hearing - 5/28/15 - IN RE: Cell Tower

BEFORE ME, the undersigned, a Notary Public for the State and County above named, This day personally came before me, Hal Welch, who being first duly sworn according to law, says that he is the General Manager of **THE JOURNAL**, a newspaper published Tuesday through Saturday in Seneca, SC and distributed in **Oconee County, Pickens County** and the Pendleton area of **Anderson County** and the notice (of which the annexed is a true copy) was inserted in said papers on 05/09/2015 and the rate charged therefore is not in excess of the regular rates charged private individuals for similar insertions.

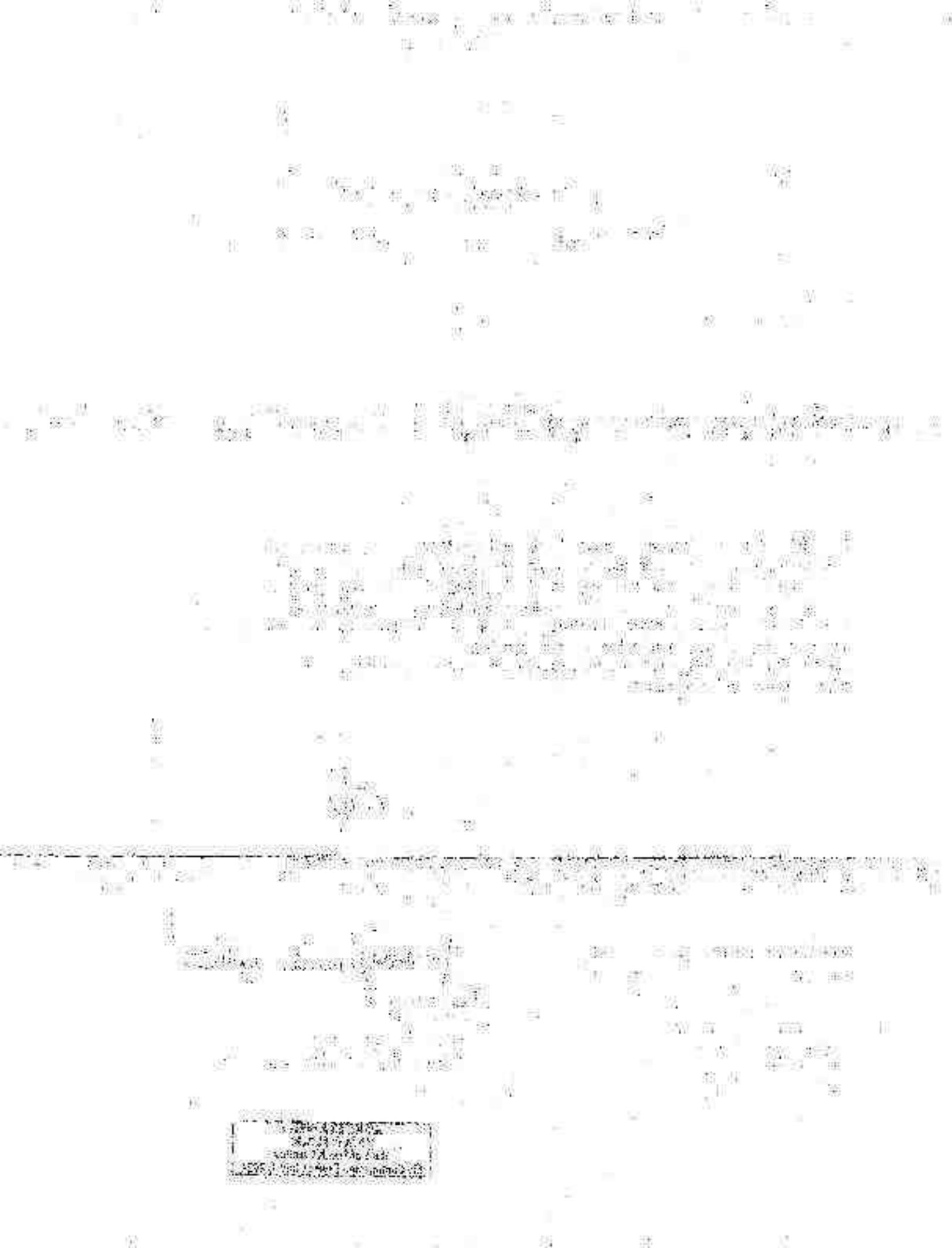


Hal Welch
General Manager

Subscribed and sworn to before me this
05/09/2015.


Jennifer A. White
Notary Public
State of South Carolina
My Commission Expires July 1, 2024

JENNIFER A WHITE
NOTARY PUBLIC
State of South Carolina
My Commission Expires July 1, 2024



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4WD 177k miles \$5500
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882-1467



88 MITSUBISHI 3000GT
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in the classifieds

LEGAL NOTICES**LEGALS**

NOTICE OF APPLICATION Notice is hereby given that Copper River 360, LLC intends to apply to the South Carolina Department of Revenue for a license/permit that will allow the sale and ON premises consumption of BEER, WINE AND LIQUOR at 514 Dyess Rd, Seneca, SC 29676. To object to the issuance of this permit/pence written protest must be postmarked no later than May 25, 2015. For a protest to be valid it must be in writing, and should include the following information: (1) the name, address and telephone number of the person filing the protest; (2) the specific reasons why the application should be denied; (3) that the person protesting is willing to attend a hearing (if one is requested by the applicant); (4) that the person protesting resides in the same county where the proposed place of business is located or within two miles of the business; and, (5) the name of the applicant and the address of the premises to be licensed. Protests must be mailed to: S.C. Department of Revenue, ABL SECTION P.O. Box 135, Columbia, SC 29214-0307; or filed in SC9186-2140.

The Oconee County Board of Zoning Appeals will conduct a public hearing on Thursday, May 28th, 2015 at 8:00 p.m. in the Council Chambers of the County Administrative Complex, 415 S. Pine Street, Waltham, SC 29691. The applicant, Faulk and Frels Real Estate, Inc. and Verizon Wireless, is requesting a Special Exception and Variance regarding a proposed cell tower to be located at 218 Sanger Pl Dr., Seneca, SC 29678. (TMS# 259-00-02-002). If you would like additional information concerning this request please contact the Community Development Office at 884-636-4218.

The Oconee County Board of Zoning Appeals will conduct a public hearing on Thursday, May 28th, 2015 at 8:00 p.m. in the Council Chambers of the County Administrative Complex, 415 S. Pine Street, Waltham, SC 29691. The applicant, GA Homesess, LLC,

LEGAL NOTICES**LEGALS**

is requesting Variances regarding road standards contained within Ch. 26 of the Oconee County Code of Ordinances. The project is proposed off of Woodlark Rd., Seneca (TMS# 136-00-03-010). If you would like additional information concerning this request please contact the Community Development Office at 884-636-4218.

The Oconee County Council will hold a Special Called Meeting on Tuesday, May 12, 2015 at 5:00 p.m. in Council Chambers, Oconee County Administrative Offices, 415 S. Pine Street, Waltham, SC.

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882-2375



Network Operations



Verizon Wireless
8921 Research Drive
Charlotte, North Carolina 28262

Phone 704 510-8500

June 5, 2015

Oconee County Planning Department
415 S. Pine Street
Walhalla, SC 29691

Re: Indemnification Letter for Verizon Wireless site: **Seneca High, PIN: 253-00-02-002**

Dear Mr. Anspach:

Verizon Wireless agrees to and shall indemnify and hold Oconee County harmless from and against any and all actions, cause of actions, demands, damages, injuries, judgments, liabilities, liens, losses, obligations, orders, proceedings, rights, and suits and any and all costs and expenses, including reasonable attorney's fees, litigation expenses, and interest) arising out of damage to real or personal property or injury to any person or in any way connected with the construction of, erection of, and/or maintenance of the communication tower and antenna, including the removal of said communication tower and antenna, as set forth in Section 32-138(7) of the Oconee County Zoning Ordinance.

Sincerely,

A handwritten signature in black ink, appearing to read "Sergei Mislevy", written in a cursive style.

Sergei Mislevy

Sergei Mislevy
Executive Director - Network
Carolinas / Tennessee Region

Ordinance Compliance Statement

Re: Application for a Proposed Verizon Wireless communications tower

Applicant: Verizon Wireless by Faulk and Foster, on behalf of the property owner, ADA Crawford Pruitt

Project Description: Verizon plans to construct a 150' monopole tower with a 9' lightning rod. Verizon will also place an 11'6" x 30' equipment shelter within a fenced compound area at the tower base. The compound will be screened by a row of evergreen trees. Please see enclosed drawings and photos for details.

Verizon Site Name: Seneca High

Location: 215 Semper Fi Drive, Seneca, SC 29678

Parcel ID: 253-00-02-002

Property Owner: ADA Crawford Pruitt

Verizon Wireless offers this Ordinance Compliance Statement in support of its application for a Special Exception Permit for the above-referenced project. We have taken the liberty of recasting the relevant portions, our answers are in bold, and we have omitted sections not requiring an answer.

Sec. 32-134. General requirements.

(a) *Illumination.* Communication towers shall be illuminated only as required by the Federal Communication Commission (FCC) and/or the Federal Aviation Administration (FAA).

The proposed tower will not be required to be illuminated by the FCC or the FAA. The tower will be less than 200 ft. in height and there are no airports within 5 miles of the proposed location.

(b) *Color.* Communication towers shall only be painted with a gray, nonreflective paint unless otherwise required by state or federal regulations.

Verizon's proposed tower will be a galvanized steel finish that will appear gray and blend well with most sky conditions.

(d) *Removal.* A communication tower which use has been discontinued for a continuous period of one year, shall be removed within 120 days of the date of the end of such period. Companies must notify the county within 30 days if telecommunications cease operations at a tower or antenna. All structures, fencing, screening and other improvements must be removed, and the site must be returned to its original condition at the company's expense.

Verizon Wireless agrees to comply with this provision.

(h) *FCC license.* The owner of a communication tower shall possess a valid FCC license for the proposed activity, or at the discretion of the board, the owner shall provide other substantial documentation in lieu of FCC licensing proving to the board that the owner has a verifiable history of satisfactory communications tower construction and operation.

Verizon Wireless shall provide verification of a valid FCC license as soon as it is available.

(j) *Safety codes.* A communication tower shall comply with all applicable health, nuisance, noise, fire, building and safety code requirements.

Verizon Wireless agrees to comply with all applicable federal, state, and local laws and regulations.

(l) *Application of county land use regulations.* Land development regulations and other performance standards shall apply to the use, unless otherwise provided in this article.

Verizon's proposed site is in compliance with the applicable land development regulations.



CERTIFICATE OF LIABILITY INSURANCE

DATE(MM/DD/YYYY)
05/28/2015

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Aon Risk Services Northeast, Inc. New York NY Office 199 Water Street New York NY 10038-3551 USA	CONTACT NAME: PHONE (A/C. No. Ext): (866) 283-7122 FAX (A/C. No.): (800) 363-0105 E-MAIL ADDRESS:	
	INSURER(S) AFFORDING COVERAGE	
INSURED Verizon Communications Inc. 1095 Avenue of the Americas New York NY 10036 USA	INSURER A: National Union Fire Ins Co of Pittsburgh 19445	
	INSURER B: New Hampshire Ins Co 23841	
	INSURER C: Illinois National Insurance Co 23817	
	INSURER D:	
	INSURER E:	
	INSURER F:	

Holder Identifier :

COVERAGES **CERTIFICATE NUMBER: 570057822882** **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS. **Limits shown are as requested**

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> Standard Contractual Liability <input checked="" type="checkbox"/> X,C,U Not Excluded GENL AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:			GL7266932	06/30/2014	06/30/2015	EACH OCCURRENCE \$5,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$5,000,000 MED EXP (Any one person) \$10,000 PERSONAL & ADV INJURY \$5,000,000 GENERAL AGGREGATE \$5,000,000 PRODUCTS - COMP/OP AGG \$5,000,000
A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS			CA 350-06-58 AOS CA 350-06-59 MA CA 350-06-60 VA	06/30/2014	06/30/2015	COMBINED SINGLE LIMIT (Ea accident) \$2,000,000 BODILY INJURY (Per person) BODILY INJURY (Per accident) PROPERTY DAMAGE (Per accident)
	<input type="checkbox"/> UMBRELLA LIAB <input type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input type="checkbox"/> RETENTION						EACH OCCURRENCE AGGREGATE
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR / PARTNER / EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below		Y/N N	WC026035004 AOS WC026035006 IL KY NC NH UT VT	06/30/2014	06/30/2015	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$4,000,000 E.L. DISEASE-EA EMPLOYEE \$4,000,000 E.L. DISEASE-POLICY LIMIT \$4,000,000

Certificate No : 570057822882

 DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
 RE: Vzw Site: Big Ridge.
CERTIFICATE HOLDER**CANCELLATION**

Oconee County SC 415 S. Pine Street Walhalla SC 29691 USA	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE <i>Aon Risk Services Northeast, Inc.</i>

**ADDITIONAL REMARKS SCHEDULE**

AGENCY Aon Risk Services Northeast, Inc.		NAMED INSURED Verizon Communications Inc.	
POLICY NUMBER See Certificate Number: 570057822882			
CARRIER See Certificate Number: 570057822882	NAIC CODE	EFFECTIVE DATE:	

ADDITIONAL REMARKS

**THIS ADDITIONAL REMARKS FORM IS A SCHEDULE TO ACORD FORM,
FORM NUMBER: ACORD 25 FORM TITLE: Certificate of Liability Insurance**

INSURER(S) AFFORDING COVERAGE	NAIC #
INSURER	
INSURER	
INSURER	
INSURER	

ADDITIONAL POLICIES If a policy below does not include limit information, refer to the corresponding policy on the ACORD certificate form for policy limits.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YYYY)	POLICY EXPIRATION DATE (MM/DD/YYYY)	LIMITS
	WORKERS COMPENSATION						
B		N/A		WC026035008 NJ PA	06/30/2014	06/30/2015	
B		N/A		WC026035007 AZ GA VA	06/30/2014	06/30/2015	
A		N/A		WC026035005 CA	06/30/2014	06/30/2015	
B		N/A		WC026035012 MA, ND, OH, WA, WI, WY	06/30/2014	06/30/2015	
B		N/A		WC026035011 MN	06/30/2014	06/30/2015	
C		N/A		WC026035009 FL	06/30/2014	06/30/2015	
B		N/A		WC026035010 ME	06/30/2014	06/30/2015	

OCONEE COUNTY BOARD OF ZONING APPEALS

415 South Pine Street - Walhalla, SC



TEL (864) 638-4218 FAX (864) 638-4168

BOARD ORDER ON SPECIAL EXCEPTION HEARING

Application Date: May 28, 2015
Permit Application: - SE15-000001

The Board of Zoning Appeals held a public hearing on May 28, 2015, to consider the request for a special exception in accordance with County Ordinance Chapter 32, Article 4, by application from Ivan Mousaw, which may be approved by the Board pursuant to Chapter 32 of the Oconee County Code of Ordinances for the unincorporated areas of Oconee County.

The request for a special exception by Ivan Mousaw was set forth on the Special Exception Application - SE15-000001, requesting a special exception for a communication tower at TMS # 253-00-02-002, 215 Semper Fi Dr., Seneca, SC 29678).

After consideration of the evidence and arguments presented, the Board makes the following conclusions:

Special Exception:

- (1) In accordance with the comprehensive plan and is consistent with the spirit, purposes, and the intent and specific requirements of this chapter, to include the definition and intent of the district in which the special exception is being requested;
- (2) In the best interests of the county, the convenience of the community and the public welfare;
- (3) Suitable for the property in question, and designed, constructed, operated, and maintained so as to be in harmony with and appropriate in appearance to the existing or intended character of the general vicinity;
- (4) Suitable in terms of effects on highway traffic, parking and safety with adequate access arrangements to protect streets from undue congestion and hazards.

And:

1. Based on the evidence presented to the Board, the proposed Special Exception does meet the standards put forth in the Oconee County Unified Performance Standards Ordinance.
2. Based on the evidence presented to the Board, the proposed Special Exception is compatible with current and known planned land uses in the district, and will not substantially diminish the value of adjacent property of property in the district.
3. Based on the evidence presented to the Board, the proposed Special Exception will have a positive impact upon the general health, safety, and welfare of the residents of Oconee County.

THE BOARD, THEREFORE, ORDERS that the special exception request for a communication tower at TMS # 253-00-02-002, as permit application SE15-000001, be granted that the applicant be granted conditional approval pending evidence of a (a.) Certificate of Insurance, and (b.) an Indemnity Letter.

Date issued: 5-28-2015

Chairman

Secretary

Date mailed to parties in interest: 5-28-2015

Ordinance Compliance Statement

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Parcel ID: 253-00-02-002

Property Owner: ADA Crawford Pruitt

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