

Public Comment  
Monday, July 25, 2016

First Name – Last Name

LINDA

1. FREMAIN / MATTRESS

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14. /



**OCONEE COUNTY COMMUNITY DEVELOPMENT**

Addressing | Codes | Permitting | Planning & Zoning

**BOARD ORDER ON VARIANCE EXCEPTION HEARING**

**Application Date: July 25, 2016**  
**Permit Application: - VA16-000007**

The Board of Zoning Appeals held a public hearing on Monday, July 25, 2016 to consider the request for a variance in accordance with County Ordinance, by application from J. Davis Construction which may be approved by the Board pursuant to the Oconee County Code of Ordinances for the unincorporated areas of Oconee County.

The request for a variance exception by was set forth on the variance application -VA16-000007, requesting approval of a variance to waive the 25' front setback requirement for the Control Free District as required by Chapter 38, Article 10, and Section 38-10.2.

The Board makes the following conclusions:

The application submitted for special exception for retail over 5,000 sq. ft. and less than 50,000 sq. ft. within the Traditional Rural District:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of this chapter to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property, and
4. The authorization of a variance will not be of substantial detriment to adjacent uses or to the public good, and the character of the district will not be harmed by the granting of the variance.

THE BOARD, THEREFORE, ORDERS that the variance to waive the front setback requirements for the Control Free District be granted.

Date issued: 7/25/2016

[Signature]  
Chairman

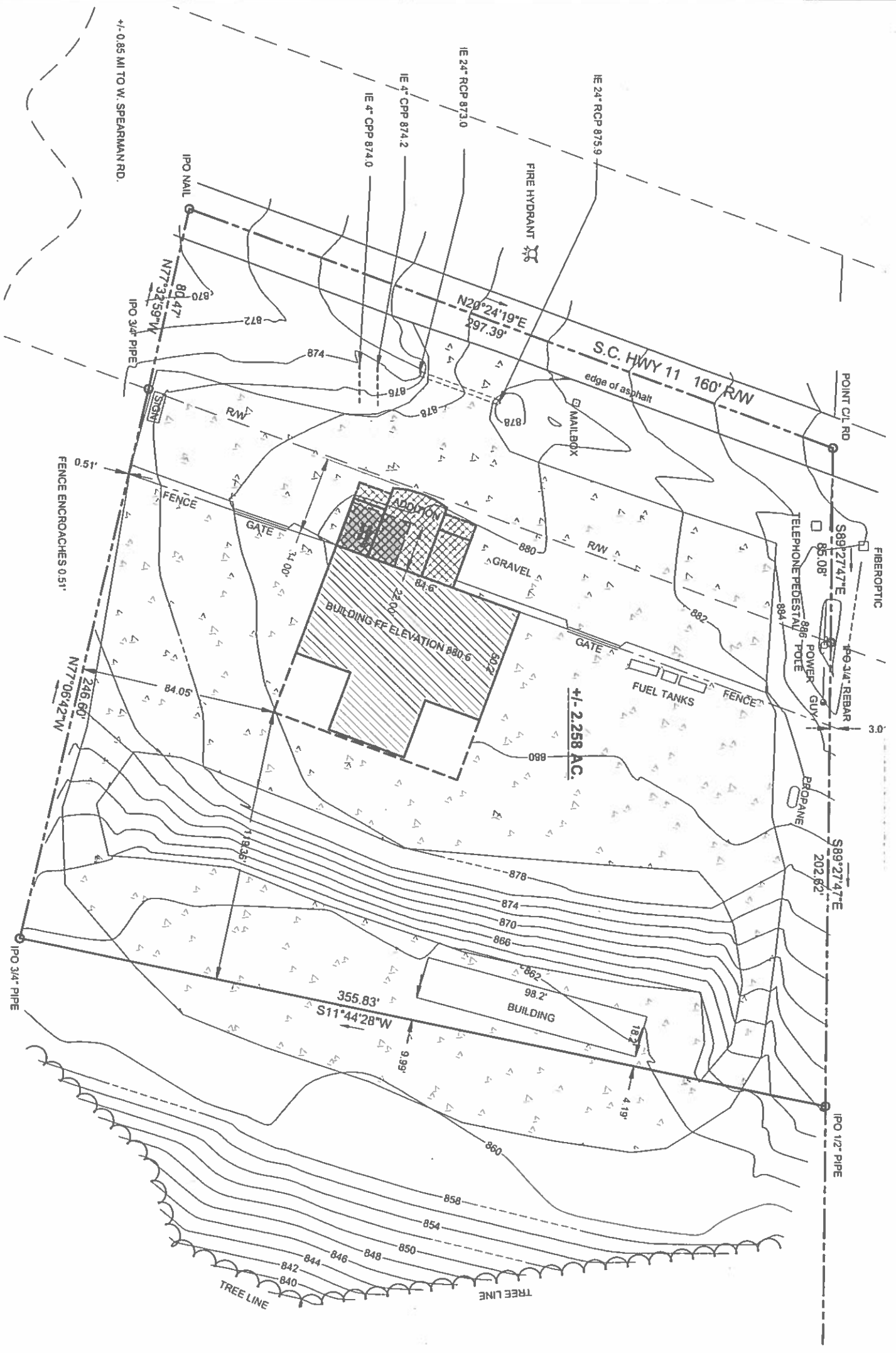
[Signature]  
Secretary

Date mailed to parties in interest: 7/26/2016

Notice of appeal to Circuit Court must be filed within 30 days after date this Order was mailed.

1 SITE PLAN  
 SCALE: 1" = 20'  
 Project North

Original survey information obtained from:  
 STEPHEN R. EDWARDS & ASSOCIATES, INC.  
 West Union, SC 29696



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SEAL



CONTRACTOR

PROJECT TITLE

6-23-16 - add door to site  
 6-1-16 - Kennedy Highway 11 RW  
 5-18-16 - Parcel Issue 2  
 5-18-16 - Parcel Issue 1  
 ISSUE

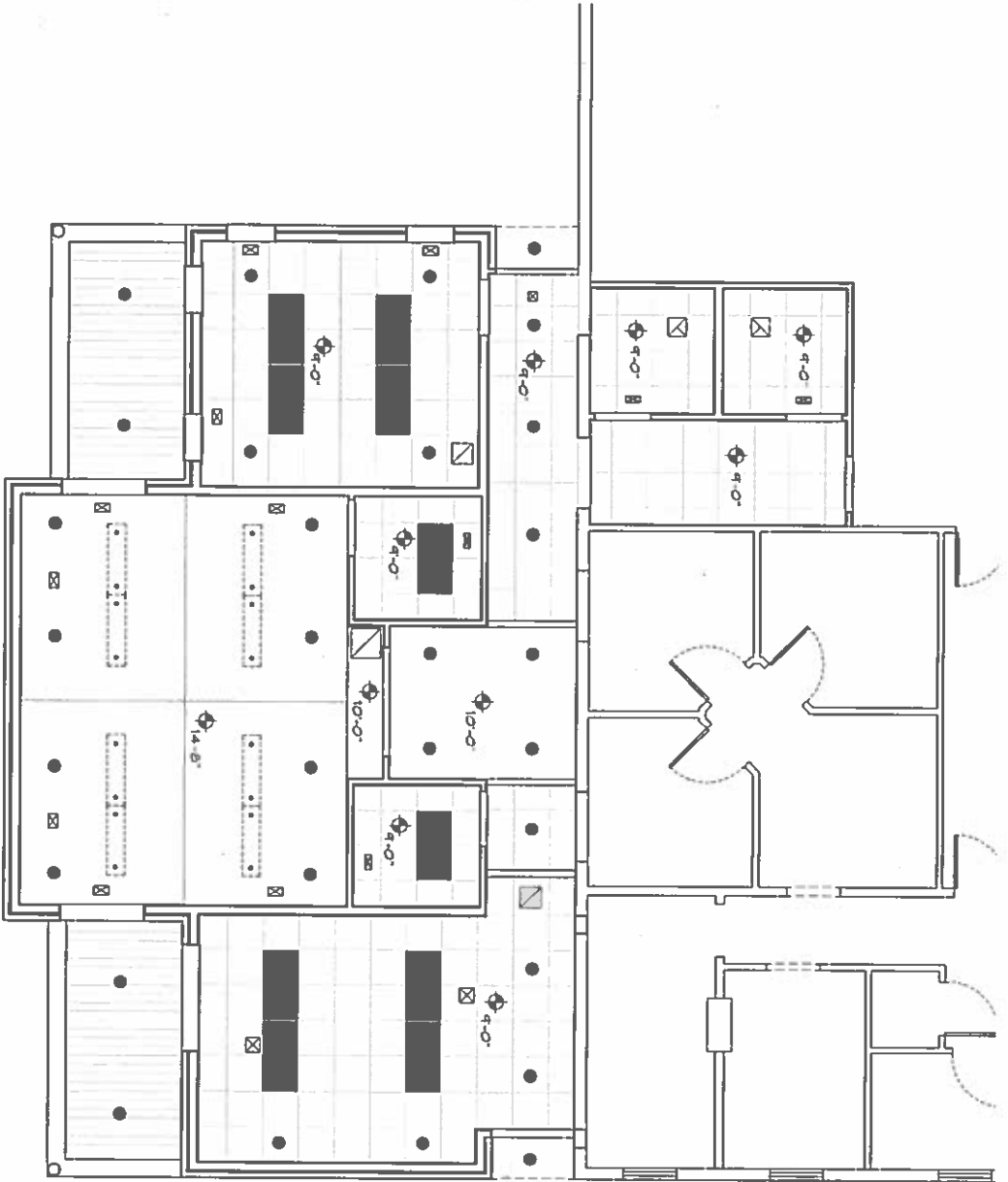
519-15

Author: JWM  
 Date: 5/16/2016

PROJECT DATA  
 SITE PLAN

C1 SHEET

# PRELIMINARY - NOT FOR CONSTRUCTION



1  
A4  
CEILING PLAN  
SCALE: 1/4" = 1'-0"



Project North



**McKIBBEN  
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SEAL



(864) 972-4720  
Design Build Contractor

CONTRACTOR

PROJECT TITLE

5-2-16 - Farm House 1  
ISSUE

510-15

JVM

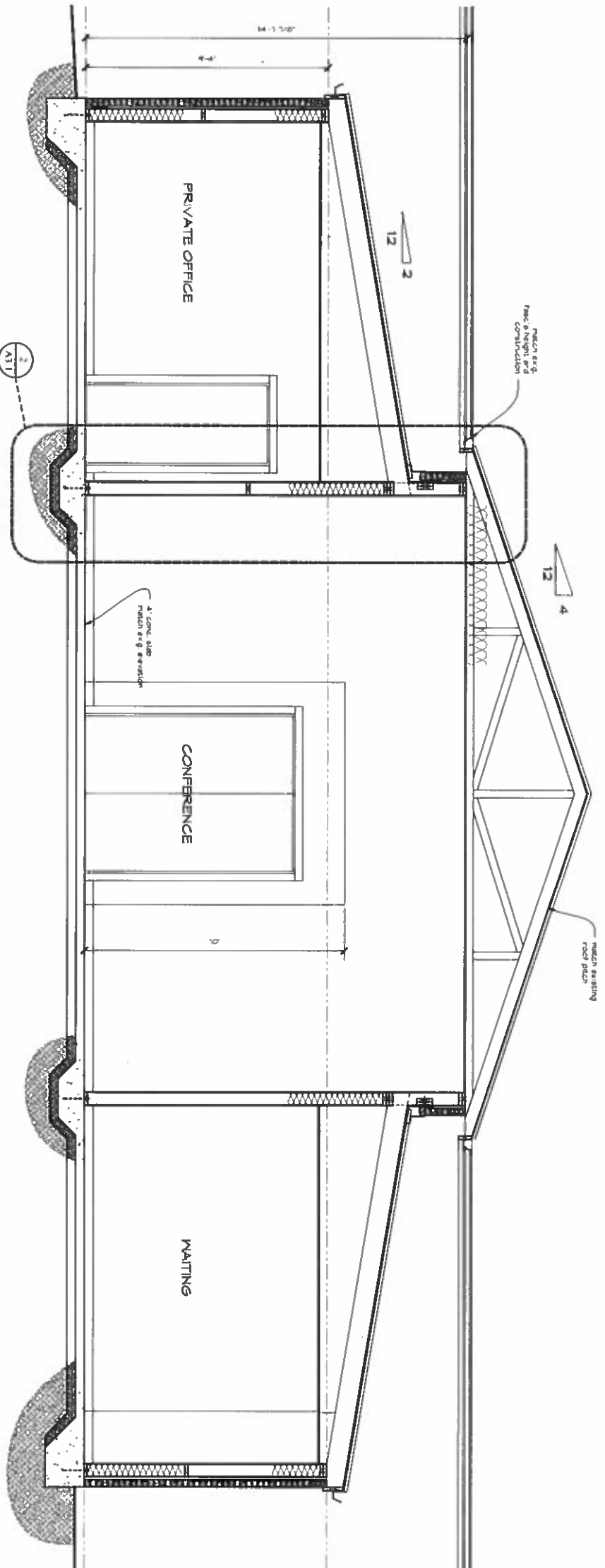
JVM

5/2/2016

PROJECT DATA  
CEILING PLAN  
(New Construction)

A4  
SHEET

# PRELIMINARY - NOT FOR CONSTRUCTION



1 BUILDING SECTION  
A1 SCALE 1/2" = 1'-0"



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CONTRACTOR

PROJECT TITLE

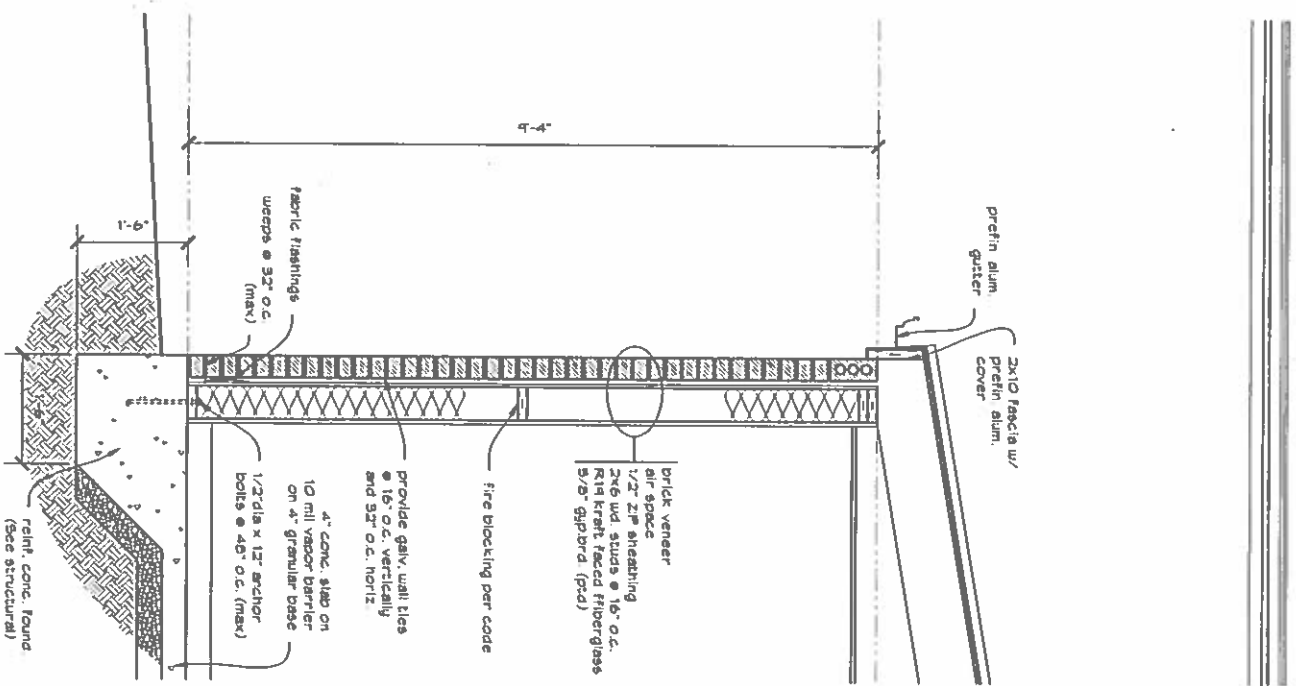
5-2-16 - Permit Issue 1  
 ISSUE  
 \$18,415  
 JWM JWM  
 5/2/2016

PROJECT DATA

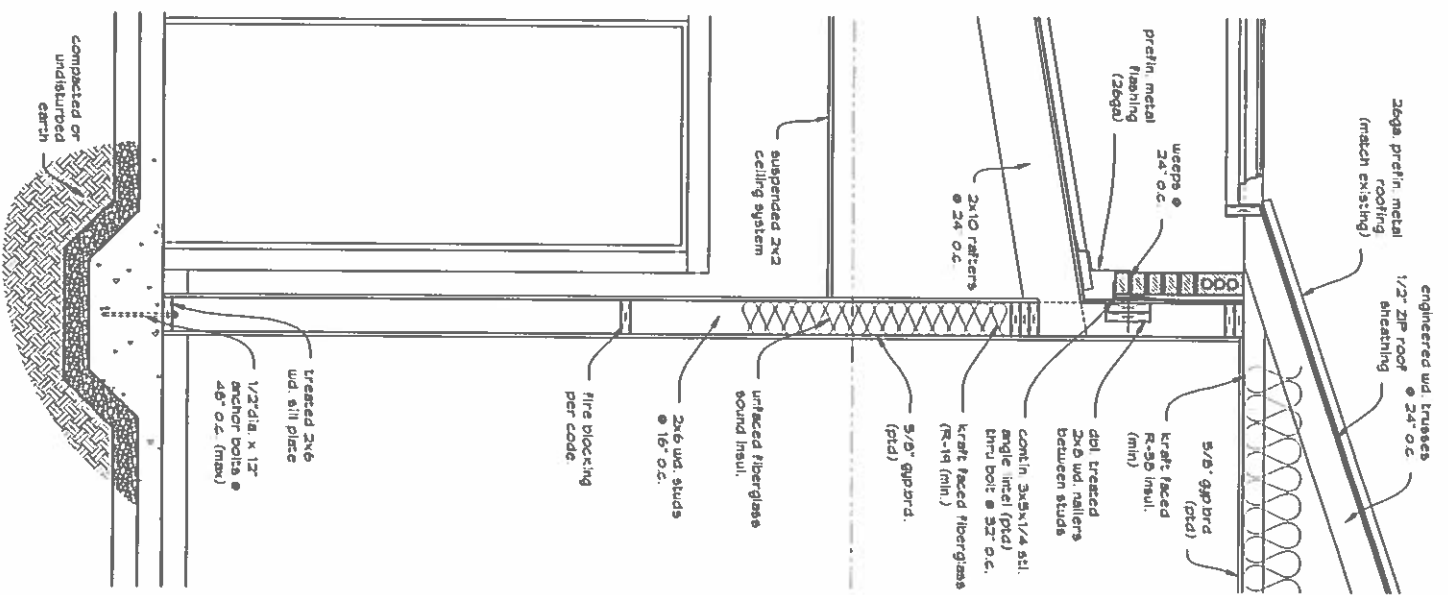
BUILDING SECTIONS

A3  
 SHEET

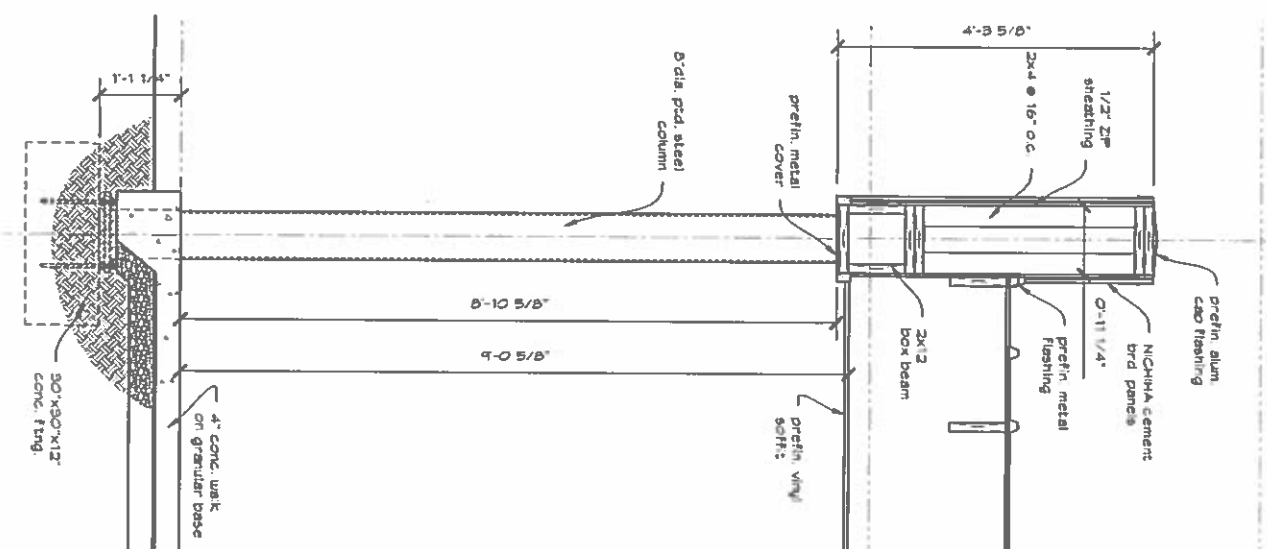
# PRELIMINARY - NOT FOR CONSTRUCTION



1 WALL SECTION  
A11 SCALE: 1" = 12"



2 WALL SECTION  
A11 SCALE: 1" = 12"



3 WALL SECTION  
A11 SCALE: 1" = 12"



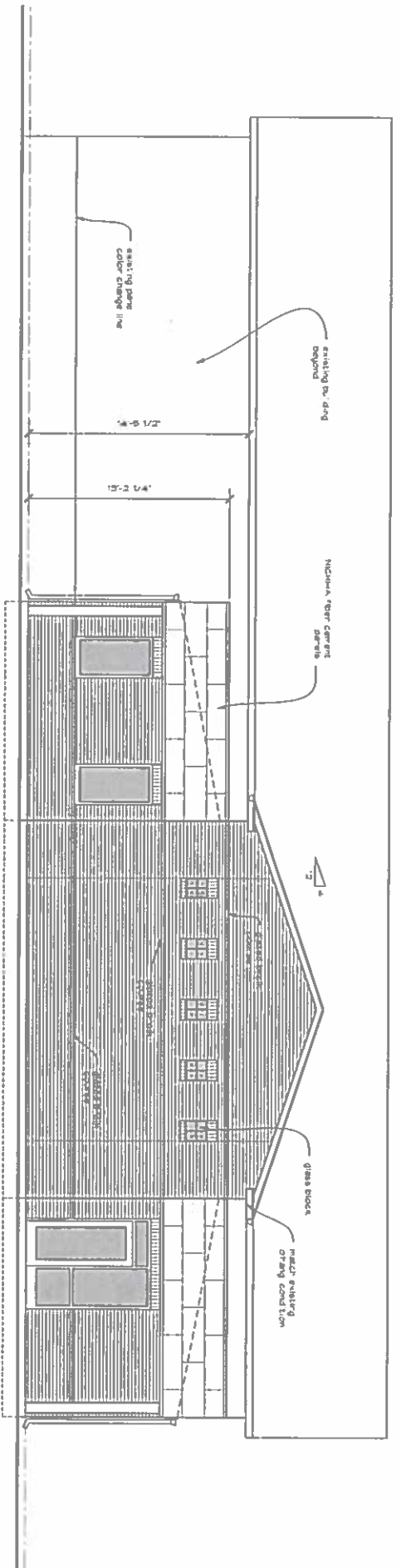
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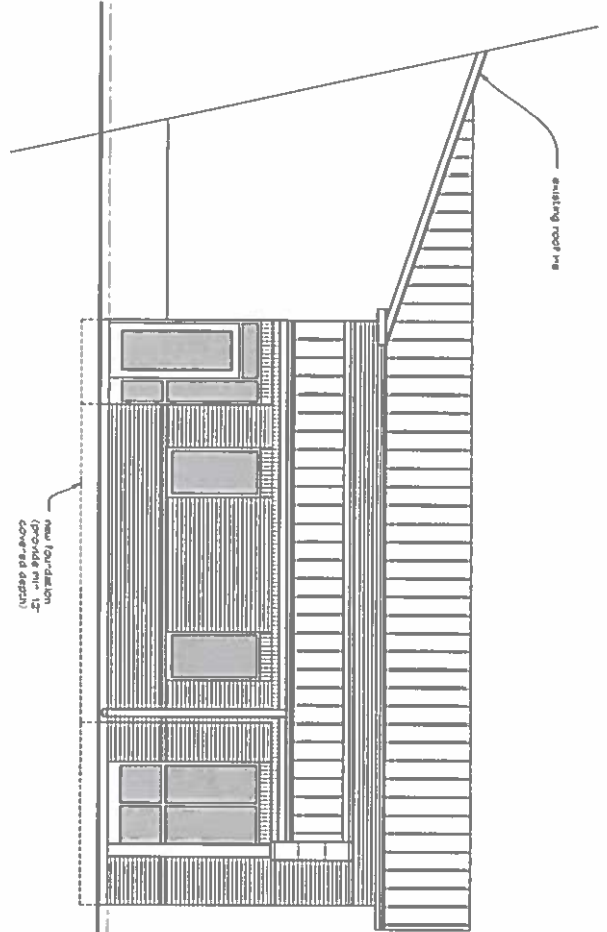
**HIDOVERS**  
(864) 972-4720  
Design David G. Hildebrand

PROJECT TITLE	
5-2-16 - Front Entry 1	
ISSUE	
NO. 1	5/19/15
DESIGNED BY	JVM
CHECKED BY	JVM
DATE	5/27/2015
PROJECT DATA	
WALL SECTIONS	
A3.1	
SHEET	

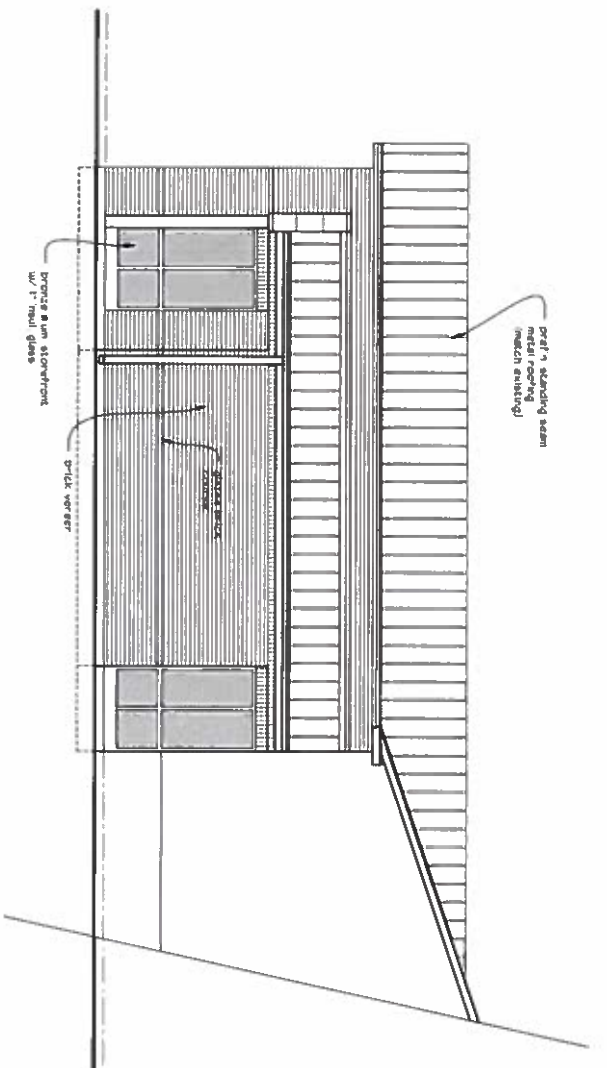
# PRELIMINARY - NOT FOR CONSTRUCTION



1 WEST ELEVATION  
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



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PROJECT TITLE

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5-2-16 - Permit Layout 1  
ISSUE

518-45

JVM JVM

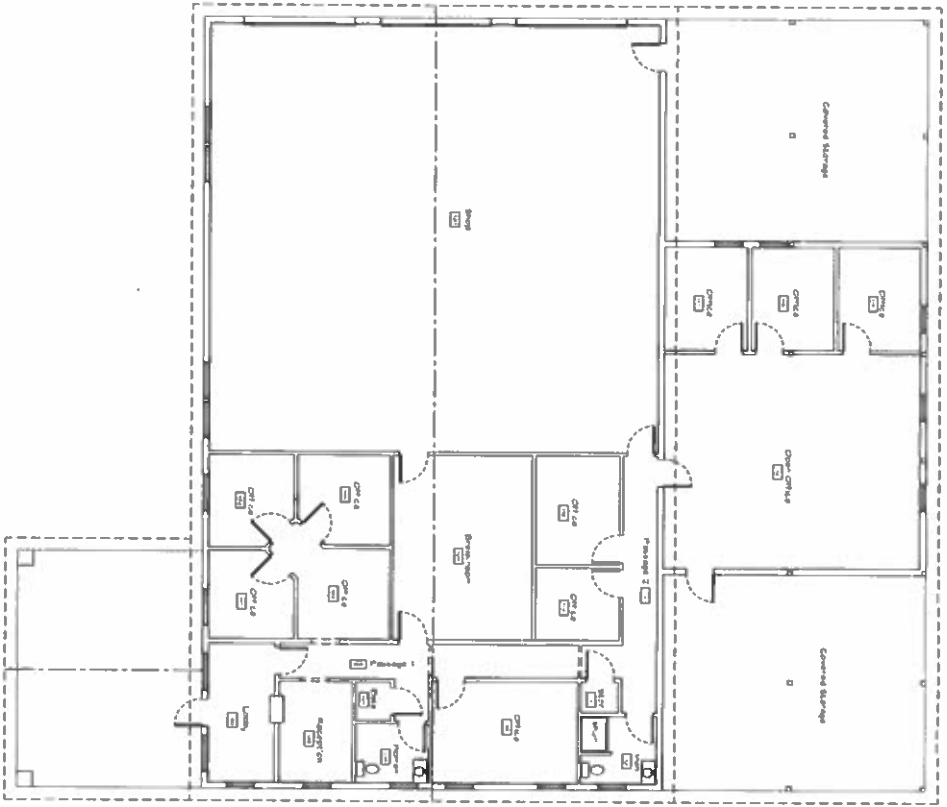
5/2/2016

PROJECT DATA

ELEVATIONS

A2 SHEET

# PRELIMINARY - NOT FOR CONSTRUCTION



1 FLOOR PLAN  
 SCALE: 1/8" = 1'-0"  
 Project Name



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SEAL



CONTRACTOR

PROJECT TITLE

5-2-16 - Final issue 1

ISSUE

818-15

DATE

JVM

JVM

5/2/2018

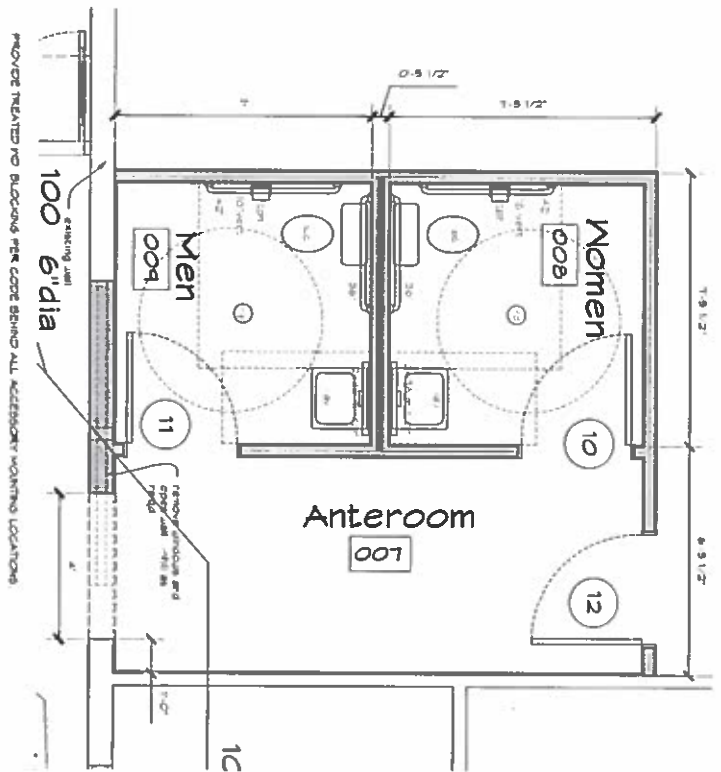
PROJECT DATA

FLOOR PLAN  
 FINISHING CONDITIONS

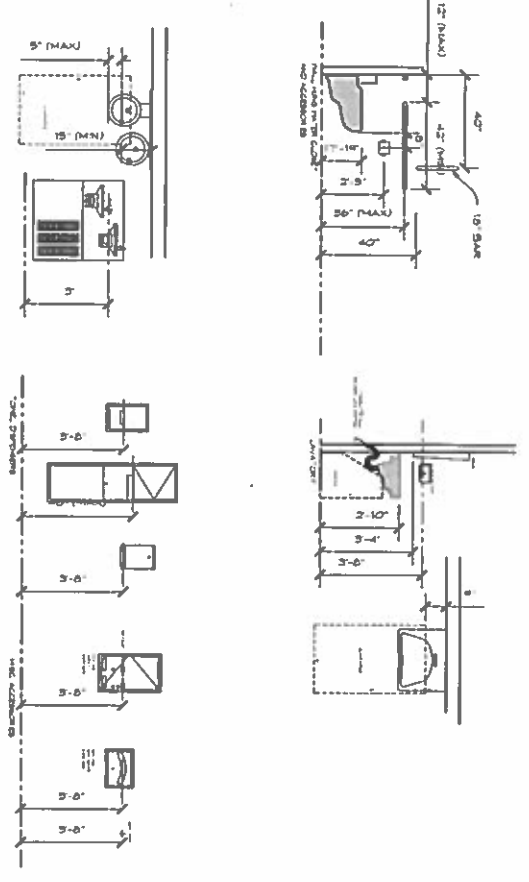
A1  
 SHEET



# PRELIMINARY - NOT FOR CONSTRUCTION



1 FLOOR PLAN  
A1.2 SCALE: 1/2" = 1'-0"



2 MOUNTING DETAILS  
A1.2 SCALE: JHM = 1/2"

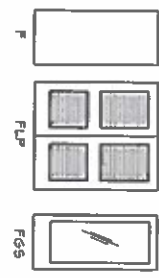
### DOOR SCHEDULE

DOOR NUMBER	DOOR SIZE			DOOR TYPE	DOOR MTL.	DOOR FINISH	FRAME ELEV.	FRAME MTL.	FRAME DETAILS			FRAME FINISH	FRAME COLOR	RATING	HYWARE SET	REMARKS	DOOR NUMBER
	N	H	T						H	L	S						
01	3'-4"	7'-0"	0	1	ALUM	PTD	1	ALUM				ALUM				DOOR FINISH TO BE DETERMINED BY ARCH	01
02	3'-4"	7'-0"	0	2	ALUM	PTD	1	ALUM				ALUM				DOOR FINISH TO BE DETERMINED BY ARCH	02
03	3'-0"	7'-0"	0	3	PTD	PTD	2	PTD				PTD				DOOR FINISH TO BE DETERMINED BY ARCH	03
04	3'-0"	7'-0"	0	4	PTD	PTD	2	PTD				PTD				DOOR FINISH TO BE DETERMINED BY ARCH	04
05	3'-0"	7'-0"	0	5	PTD	PTD	2	PTD				PTD				DOOR FINISH TO BE DETERMINED BY ARCH	05
06	3'-0"	7'-0"	0	6	PTD	PTD	2	PTD				PTD				DOOR FINISH TO BE DETERMINED BY ARCH	06
07	3'-0"	7'-0"	0	7	PTD	PTD	2	PTD				PTD				DOOR FINISH TO BE DETERMINED BY ARCH	07
08	3'-0"	7'-0"	0	8	PTD	PTD	2	PTD				PTD				DOOR FINISH TO BE DETERMINED BY ARCH	08
09	3'-0"	7'-0"	0	9	PTD	PTD	2	PTD				PTD				DOOR FINISH TO BE DETERMINED BY ARCH	09
10	3'-0"	7'-0"	0	10	PTD	PTD	2	PTD				PTD				DOOR FINISH TO BE DETERMINED BY ARCH	10

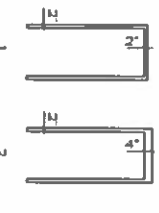
### HARDWARE SETS

- SET 1: 1 1/2 PINE BUTTS, LOCK-SET (ENTRANCE FUNCTION), LEVER HANDLES, CLASPER (ACTIVE LEAF), SURFACE FLUSH BOLTS, DOOR STOP, FULL WEATHERSTRIPPING
- SET 2: 1 1/2 PINE BUTTS, LOCK-SET (OFFICE FUNCTION), LEVER HANDLES, CLASPER, DOOR STOP
- SET 3: 1 1/2 PINE BUTTS, LOCK-SET (PULLER FUNCTION), LEVER HANDLES, CLASPER, DOOR STOP, DOOR STOP (2), TACTILE SIGN
- SET 4: 1 1/2 PINE BUTTS, LOCK-SET (ENTRANCE FUNCTION), LEVER HANDLES, CLASPER, DOOR STOP, DOOR STOP (2), TACTILE SIGN
- SET 5: 3 PINE BUTTS, LOCK-SET (ENTRANCE FUNCTION), LEVER HANDLES, CLASPER (ACTIVE LEAF), SURFACE FLUSH BOLTS, DOOR STOP, DOOR STOP (2), TACTILE SIGN, FULL WEATHERSTRIPPING

### DOOR TYPES



### FRAME TYPES



### LEGEND

- AND - ANODIZED ALUMINUM
- ML - MOLLON-ETAL
- PTD - PAINTED
- SCM - SOLID CORE WOOD w/ BUSH VENEER
- SM - STAINED w/ FINISH APPLIED

### ROOM FINISHES

ROOM NUMBER	ROOM NAME	FLOOR				WALL				CEILING	REMARKS
		WALL	BASE	WALL	FIN	WALL	FIN	WALL	FIN		
000	EXISTING LOBBY	CONC	VTL	OPN	PTD	STR	AND	OPN	VARIABLES	PAINT EXPOSED STEEL AT CEILING	
001	WAITING	VGT	VTL	OPN	PTD	STR	AND	OPN	VARIABLES	PAINT EXPOSED STEEL AT CEILING	
002	CONDUCTOR	CONC	VTL	HAS	PTD	OPN		OPN	VARIABLES	PAINT EXPOSED STEEL AT CEILING	
003	CONDUCTOR ROOM	CONC	VTL	HAS	PTD	OPN		OPN	VARIABLES	PAINT EXPOSED STEEL AT CEILING	
004	STORAGE 1	VGT	VTL	OPN	PTD	STR	AND	OPN	VARIABLES	PAINT EXPOSED STEEL AT CEILING	
005	STORAGE 2	VGT	VTL	HAS	PTD	OPN		OPN	VARIABLES	PAINT EXPOSED STEEL AT CEILING	
006	PRIVATE OFFICE	CONC	VTL	HAS	PTD	OPN		OPN	VARIABLES	PAINT EXPOSED STEEL AT CEILING	
007	ANTEROOM	CONC	VTL	HAS	PTD	OPN		OPN	VARIABLES	PAINT EXPOSED STEEL AT CEILING	
008	WOMEN	CONC	VTL	HAS	PTD	OPN		OPN	VARIABLES	PAINT EXPOSED STEEL AT CEILING	
009	MEN	CONC	VTL	HAS	PTD	OPN		OPN	VARIABLES	PAINT EXPOSED STEEL AT CEILING	

### SYMBOL LEGEND

- CT - CONCRETE TILE (12x12) S&B
- VTL - 4" COVER VENT. SLATE
- OPN - 5/8" STRIP VENT. BOARD
- PTD - PAINTED (11 PAINTS, 12 PAINTS, 13 PAINTS)
- CONC - EXISTING CONCRETE (RANDOMLY APPEARING SPOTS)
- ML - MOLLON-ETAL
- SM - STAINED w/ FINISH APPLIED
- STR - ALUMINUM STRIP (1/2" THICK 9x45)

ALL INTERIOR FINISHES SHALL BE CLASS B OR BETTER FINISH (SHEED) / SPOKE DEVELOPMENT

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864-888-8638

**H. DAVIS**  
(864) 972-4720  
Design Build Contractor

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CONTRACTOR

---

PROJECT TITLE

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5-2-18 - Permit Issue 1

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ISSUE

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\$19,415

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JHM

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JHM

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5/2/2018

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PROJECT DATA

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FLOOR PLAN

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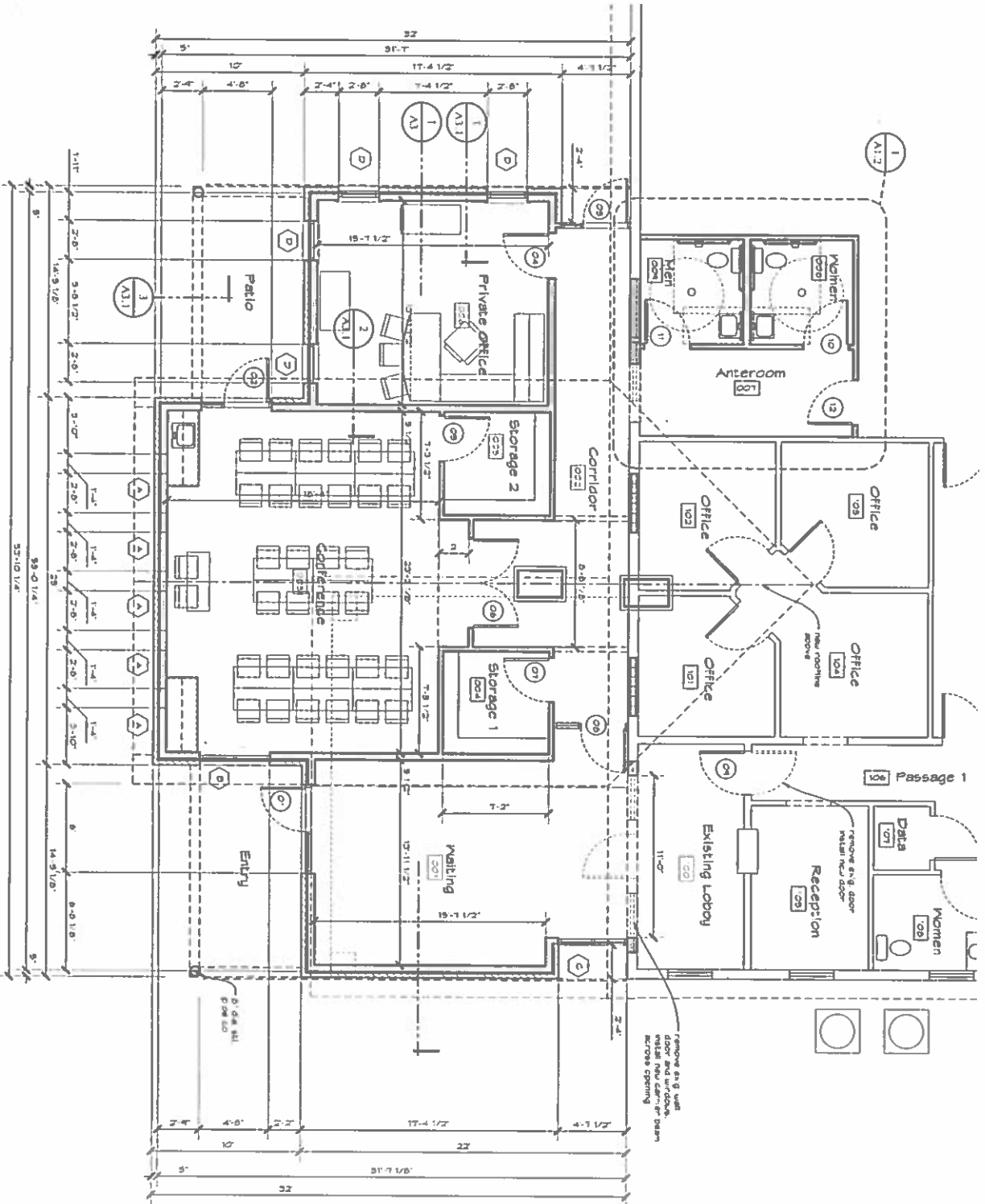
(NEW CONSTRUCTION)

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A1.2

SHEET

# PRELIMINARY - NOT FOR CONSTRUCTION



1 FLOOR PLAN  
 SCALE 1/4" = 1'-0"  
 Project North

**PROJECT TITLE**

---

**CONTRACTOR**

**J. DAVIS**  
 (864) 972-4720  
 Certified Bond Contractor

**McKIBBEN ARCHITECTS, LLC**  
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 Seneca, SC 29678  
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 864-888-8638

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5-2-16 - Permit Issue 1  
 ISSUE

316-15

JVM JVM

5/2/2016

**PROJECT DATA**

**FLOOR PLAN**  
 (New Construction)

**A1.1**  
 SHEET

# PRELIMINARY - NOT FOR CONSTRUCTION

1 LIFESAFTY PLAN  
 A0.1 SCALE: 3/16" = 1'-0"



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**CONTRACTOR**  
 H. DAVIS  
 (864) 972-1720  
 Design Build Contractor

**PROJECT TITLE**

---

**5-2-16 - Permit Issue 1**  
 ISSUE

NO. 11 - 10/16/16  
 \$19,415

PREPARED BY: J/M  
 CHECKED BY: J/M  
 DATE: 5/2/2016

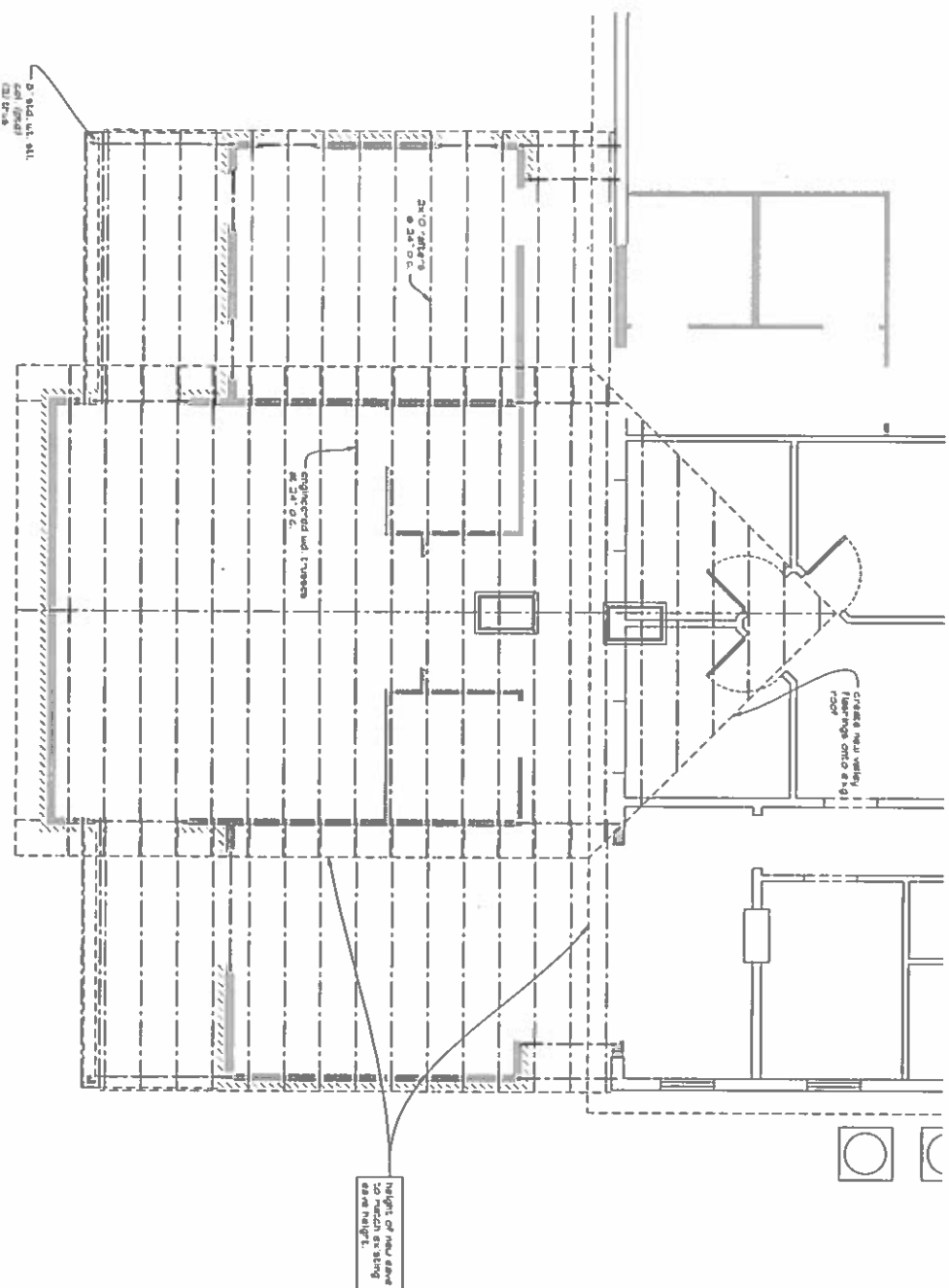
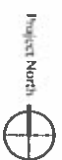
**PROJECT DATA**  
 LIFESAFTY PLAN

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**A0.1**  
 SHEET

# PRELIMINARY - NOT FOR CONSTRUCTION

## 1 ROOF FRAMING PLAN S1.1 SCALE 1/4" = 1'-0"



### DESIGN LOAD CRITERIA

**Design Loads**  
 Roof Dead Load = 10 psf  
 Roof Live Load = 20 psf  
 Wind Load = 15 psf  
 Snow Load = 10 psf  
 Ground Snow Load = 10 psf  
 Snow Storage Factor = 1.0  
 Roof Depth = 12'

**Wind Loads**  
 Basic wind speed = 95 mph, gust = 115 mph  
 Exposure Category = B  
 Roof Slope = 5:12  
 Occupancy Category = 1  
 Importance Factor = 1.0  
 Design Category = C

Roof lines and/or steel framing indicated in the proposed steel configuration and recommended insulation methods. Reinforcement of the existing framing is not as approved. Provide top and bottom cord bracing in accordance with the manufacturer's bracing / installation instructions. Secure all roof framing to the steel with girthed steel seismic / wind clips. Increase steel bearing design factors for trusses located in areas designated for mechanical equipment installation.



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SEAL

PROJECT TITLE

5.2.16 - Final Issue 1  
ISSUE

\$19,415

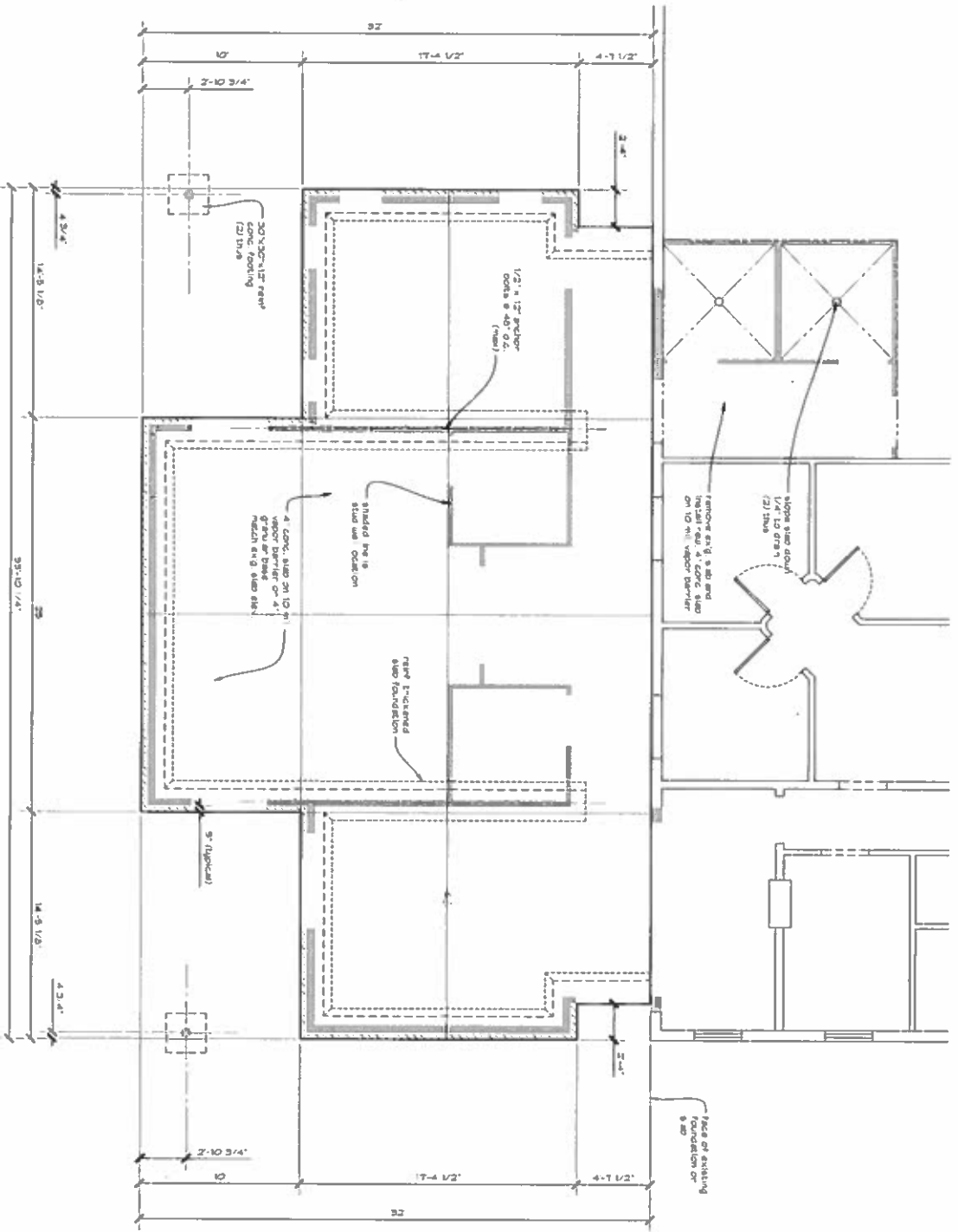
JVM JVM

5/2/2016

PROJECT DATA  
 ROOF FRAMING  
 PLAN  
 (NEW EXISTENCE)

S1.1  
SHEET

# PRELIMINARY - NOT FOR CONSTRUCTION



1 FOUNDATION PLAN (Project North)

S1 SCALE 1/4" = 1'-0"

**FOUNDATION DESIGN NOTES:**

Foundations have been designed using an assumed soil bearing capacity of 2,000 psi. Contractor shall provide soil testing as required to confirm the compressive strength of the soils at the bottom of foundation elevations shown. Foundation work shall not commence until the bearing capacity of the soil at bottom of footing elevation has been confirmed by soils testing.

Adjust/stop top of footing depths as required to provide a minimum earth coverage of 12" above bottom of footing elevations.

Concrete in foundations shall test at a minimum of 5,000 psi compressive strength after 28 days. Concrete in floor slabs shall test at a minimum of 3,500 psi compressive strength after 28 days.



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**CONTRACTOR**  
 J.D. DAVIES  
 (864) 972-4720  
 Design Build Contractor

**PROJECT TITLE**

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**ISSUE**

5-2-16 - Permit Issue 1

---

**DATE**

5/2/2016

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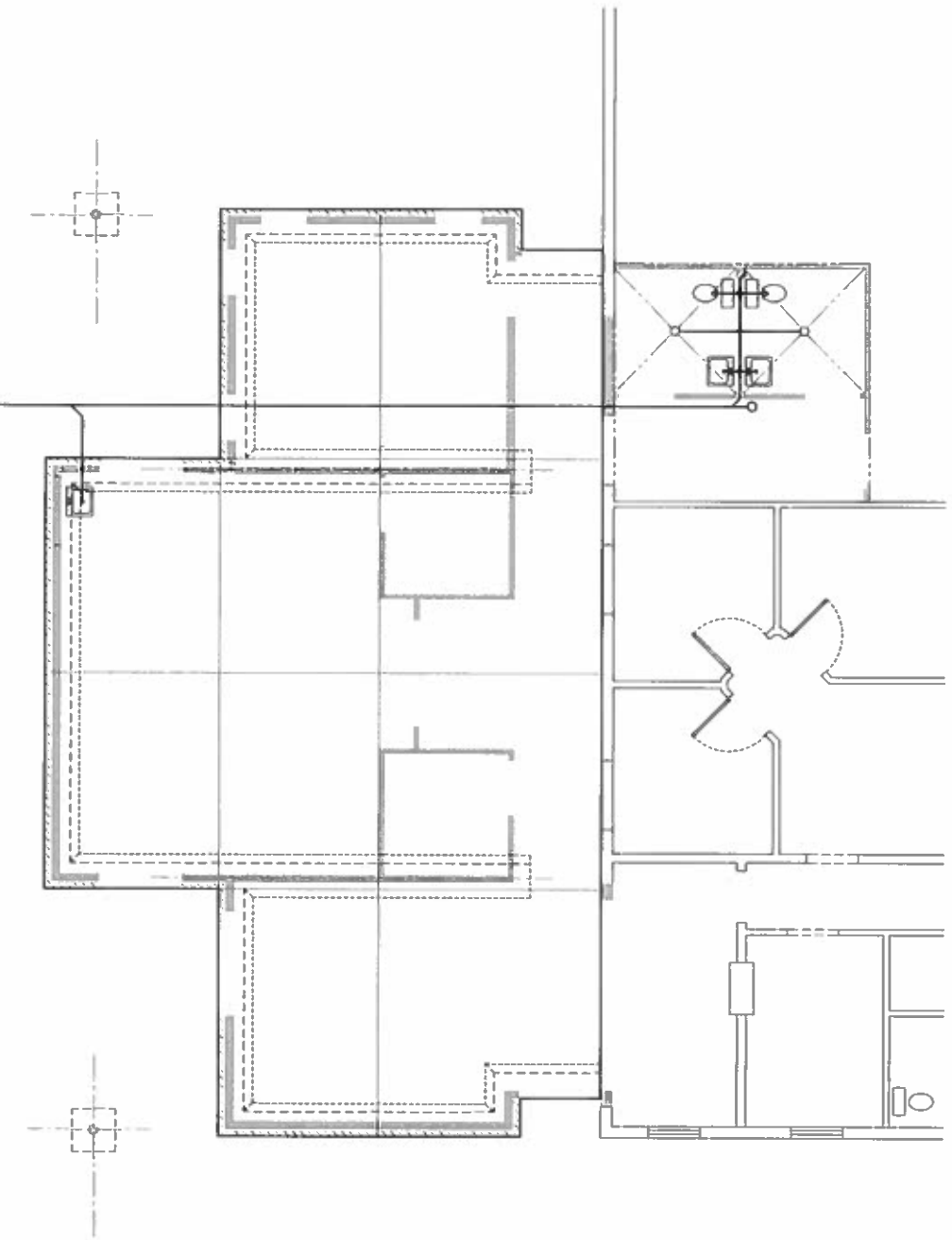
**PROJECT DATA**

FOUNDATION PLAN  
 (New Construction)

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**S1 SHEET**

# PRELIMINARY - NOT FOR CONSTRUCTION



## PLUMBING SPECIFICATIONS

1. MATERIALS AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE 2012 IPC AND THE 2012 BC. IN CASE OF CONFLICTS BETWEEN THE CODE AND DRAWINGS, THE CONDITIONS OF THE CODE SHALL GOVERN.
2. PIPING LOCATIONS SHOWN ARE TO BE CONSIDERED APPROXIMATE AND SHALL BE DETERMINED BY SITE CONDITIONS. ROUTE PIPING TO CLEAR STRUCTURAL, MECHANICAL AND ELECTRICAL COMPONENTS.
3. DWV PIPING SHALL BE SCH. 40 PVC CONFORMING TO ASTM D2665.
4. POTABLE HOT AND COLD ABOVE GROUND WATER PIPING SHALL BE TYPE L COPPER. BELOW GROUND WATER PIPING SHALL BE TYPE K COPPER. WERE ALLOWED BY LOCAL CODES, PEV OR SCH. 80 PVC MAY BE SUBSTITUTED FOR ABOVE GROUND WATER PIPING. COPPER PIPE SHALL BE SUPPORTED BY COPPER STRAPPING PER CODE.
5. ALL ABOVE GROUND HOT AND COLD WATER LINES SHALL BE INSULATED WITH 1/2" CLOSED CELL FOAM INSULATION.
6. ALL VALVES SHALL BE BRASS OR BRONZE GATE VALVES RATED AT 125 PSI.
7. PRIOR TO COVERING WITH EARTH, INSULATION OR FINISH MATERIALS, WASTE AND WATER PIPING SHALL BE TESTED IN ACCORDANCE WITH THE PLUMBING CODE.
8. WHERE SITE CONDITIONS REQUIRE, PROVIDE PRESSURE REDUCING AND BACKFLOW PREVENTION DEVICES. CONFIRM WITH LOCAL OFFICIALS.
9. PROVIDE SURSEAL TRAP SEALER AT EACH FLOOR DRAIN. OVRT TRAP PREMER.

1 PLUMBING PLAN  
 P1 SCALE 1/4" = 1'-0"  
 Project North



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CONTRACTOR

PROJECT TITLE

52-16 - Permit Issue 1

ISSUE

S19-15

DESIGNED BY

JVM

CHECKED BY

JVM

DATE

5/2/2016

PROJECT DATA

PLUMBING PLAN

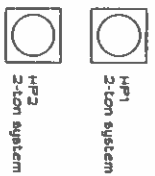
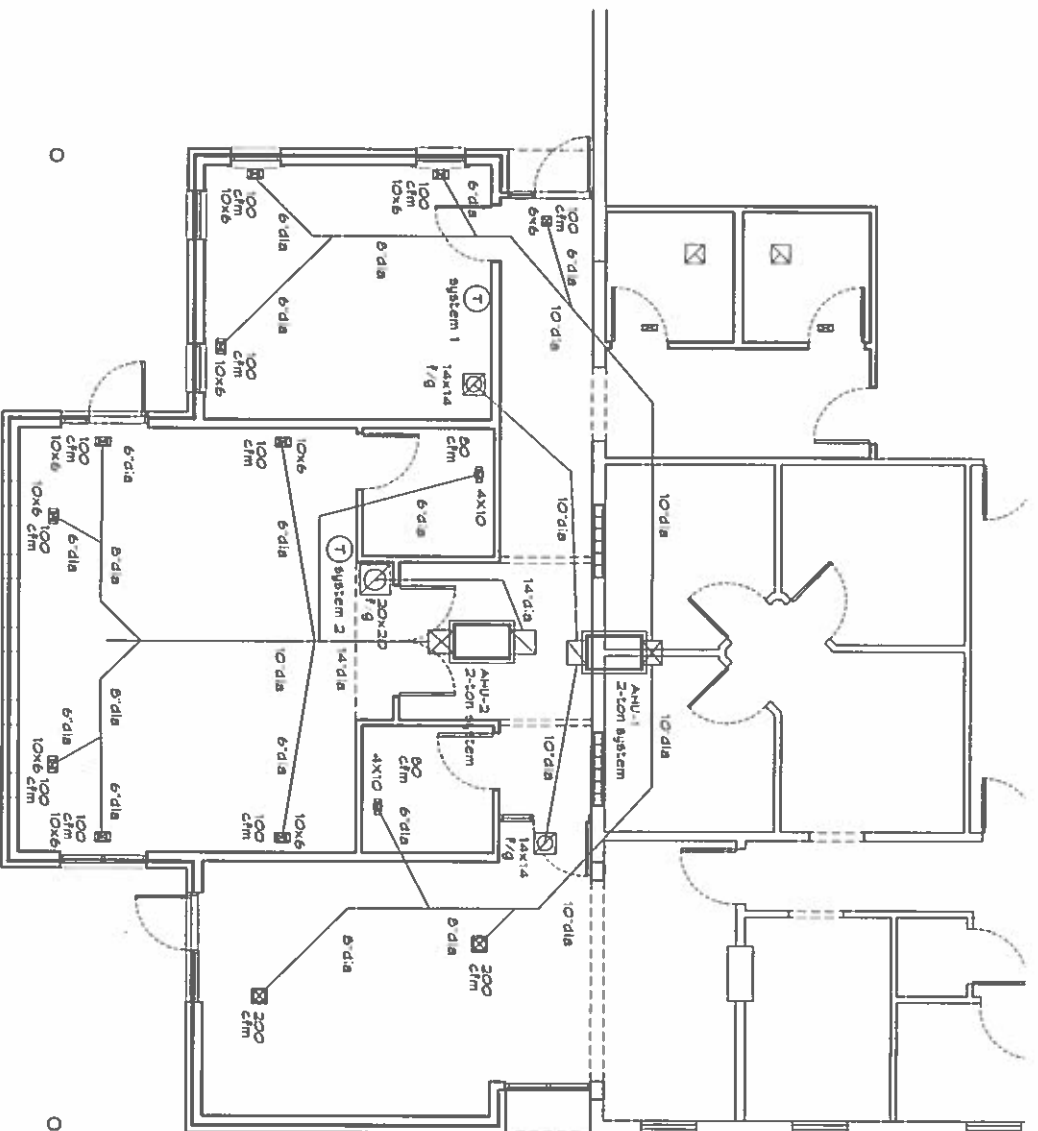
(New Construction)

DATE

P1

SHEET

# PRELIMINARY - NOT FOR CONSTRUCTION



## MECHANICAL SPECIFICATIONS

1. MATERIALS AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE 2012 IMC, IECC, AND THE 2012 IRC. IN CASE OF CONFLICTS BETWEEN THE CODE AND DRAWINGS, THE CONDITIONS OF THE CODE SHALL GOVERN.
2. ALL SPECIFIED MECHANICAL EQUIPMENT SHALL BE NEW, FREE OF DAMAGE AND DELIVERED IN THE MFG'S ORIGINAL PACKAGING. EQUIPMENT IS SPECIFIED IN THESE DRAWINGS TO ESTABLISH QUALITY. NOT TO LIMIT THE SELECTION TO A SINGLE MFG. UNLESS NOTED OTHERWISE, ALL HVAC EQUIPMENT AND SYSTEMS SHALL BE BY A SINGLE MFG.
3. DUCTWORK SHOWN ON THE DRAWINGS INDICATES INSIDE CLEAR DIMENSIONS. RECTANGULAR DUCTWORK SHALL BE FABRICATED FROM GALVANNEED SHEETMETAL. ROUND DUCTWORK SHALL BE SWAGE-LOCK SHEETMETAL OR FLEX DUCT. BRANCH DUCTWORK SHALL BE SWAGE-LOCK SHEETMETAL OR FLEX DUCT.
4. REFRIGERANT LINES SHALL BE DESIGNATED SOFT COPPER AND FABRICATED TO MINIMIZE FIELD JOINTS. LINES ARE TO RUN PARALLEL.
5. CONDENSATE LINES SHALL BE SCH. 40 P.V.C. PROVIDE A P-TRAP AT EACH CONDENSATE AND DRAIN CONDENSATE ONTO A CONCRETE SPASH ALLOW FOR REGULAR FLUSHING OF CONDENSATE LINES WITH BLEACH.
6. ALL DRIPBENS AND GRILLS SHALL BE NEW AND ARRIVE AT THE SITE IN THE MFG'S ORIGINAL PACKAGING. AFTER INSTALLATION, TOUCH UP ANY PAINT DAMAGE TO MATCH ADJACENT SURFACES.
7. ALL DUCTWORK IN UNCONDITIONED SPACE SHALL BE WRAPPED WITH R-6 FOIL FACED INSULATION. ALL DUCTWORK IN CONDITIONED SPACES SHALL BE PROVIDED WITH R-4 INSULATION. INSULATE COPPER SUCTION LINES. UNED DUCTWORK SHALL BE INSULATED WITH 1/2" TONGUEGUARD OR EQUAL.

MECHANICAL PLAN  
SCALE: 1/4" = 1'-0"



**MCKIBBEN ARCHITECTS, LLC**  
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**CONTRACTOR**  
**JD DRYERS**  
Fayetteville, NC  
(864) 972-4720  
Fayetteville Dryer Construction

**PROJECT TITLE**  
MECHANICAL PLAN

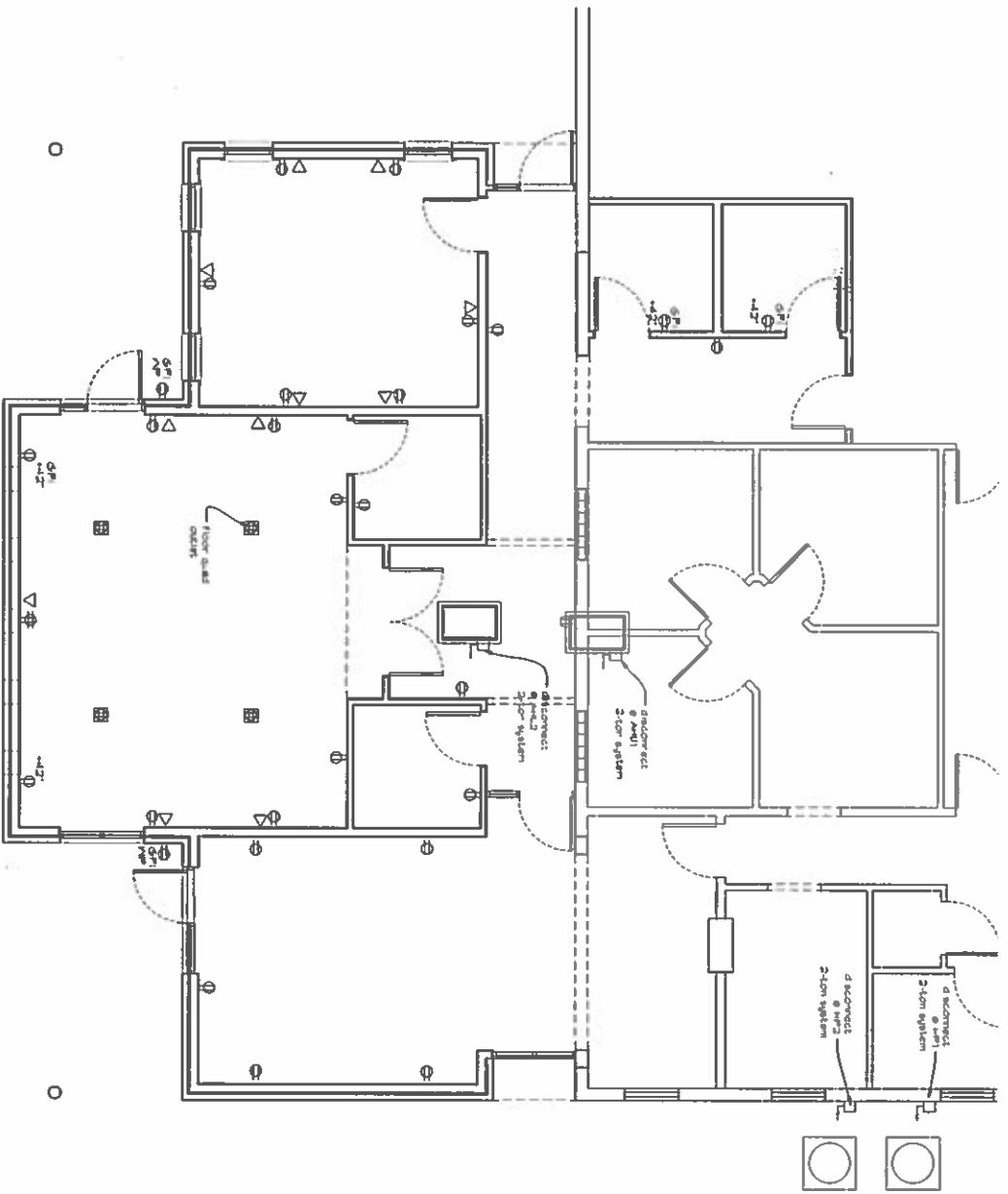
**ISSUE**  
5.2.16 - Final Issue 1

**DATE**  
3/2/2016

**PROJECT DATA**  
MECHANICAL PLAN  
(New Construction)

**SHEET**  
**M1**

# PRELIMINARY - NOT FOR CONSTRUCTION



**POWER PLAN**  
 SCALE: 1/4" = 1'-0"  
 Project North

## ELECTRICAL SPECIFICATIONS

1. ALL DRAWINGS ARE DIAGNOSTIC AND INTENDED TO SHOW THE APPROXIMATE FINISHED LOCATIONS OF ALL EQUIPMENT. ADJUST ELECTRICAL EQUIPMENT LOCATIONS TO PREVENT CONFLICTS BETWEEN OTHER COMPONENTS.
2. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE 2011 NATIONAL ELECTRICAL CODE. IN CASE OF CONFLICTS BETWEEN THE CODE AND DRAWINGS, THE CONDITIONS OF THE CODE SHALL GOVERN.
3. UNLESS NOTED OTHERWISE, ALL EQUIPMENT SHALL BE NEW AND SHALL BEAR UL LABELING FOR NEW EQUIPMENT.
4. THIS CONTRACTOR SHALL OBTAIN BRANCH CIRCUIT SIZES AND CONNECTION REQUIREMENTS FOR ALL MECHANICAL EQUIPMENT AND ALL APPLIANCES. SUBSTANTIAL CHANGES TO THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
5. ALL TERMINALS SHALL BE RATED FOR COPPER WIRE AND 90 DEGREES C.
6. ALL RECEPTACLE SHALL BE GROUNDING TYPE WITH GROUND CONNECTIONS THROUGH A EXTRA POLE PERMANENTLY CONNECTED TO THE GROUNDING SYSTEM. ALL KITCHEN AND EQUIPMENT SERVICE AREA RECEPTACLES SHALL BE GFI OR PROTECTED BY A GFI BREAKER.
7. LIGHT FIXTURES SHALL BE PROVIDED AND INSTALL COMPLETE WITH LAMPS AND ANY SPECIFIED TRIMS OR ACCESSORIES.
8. CONCEALED WIRING SHALL BE THIRTYTHIN IN MC ARMORED CABLE. EXPOSED WIRING SHALL BE THIRTYTHIN IN EMT. NO CONDUCTOR SHALL BE SMALLER THAN 1/2 WIRE AND, NO GROUNDS SHALL BE SMALLER THAN #14.
9. INSTALL ALL FIXTURES, CONDUIT AND EQUIPMENT IN ACCORDANCE WITH THE SERVIC REGULATIONS OF THE 2012 INTERNATIONAL BUILDING CODE AND THE 2011 NATIONAL ELECTRICAL CODE.
10. CIRCUIT BREAKERS SHALL BE NEW AND SHALL BE OF SAME MFG. AS PANEL MANUFACTURER. ALL PANELS AND DISCONNECT SWITCHES SHALL BE MFGED. BY A COMMON MFG.
11. PROVIDE TYPE WRITTEN PANEL BOARD SCHEDULES.
12. PROVIDE ONE (1) CIRCUIT DEDICATED FOR EXTERIOR SIGN AT BUILDING FACADE. (VERIFY FINAL BURED LOCATION WORKER.)
13. ALL CIRCUIT BREAKERS SHALL BE SWITCH DUTY. LIGHTING SYSTEM CONTROL SHALL BE AT PANEL MDP.
14. OBTAIN ALL NEW ELECTRICAL FROM EXISTING PANEL. LOCATION AS DIRECTED BY THE OWNER.



**McKIBBEN ARCHITECTS, LLC**  
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 854-733-4472  
 854-488-8632

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(864) 972-4720  
 Design Build Contractor

CONTRACTOR

PROJECT TITLE

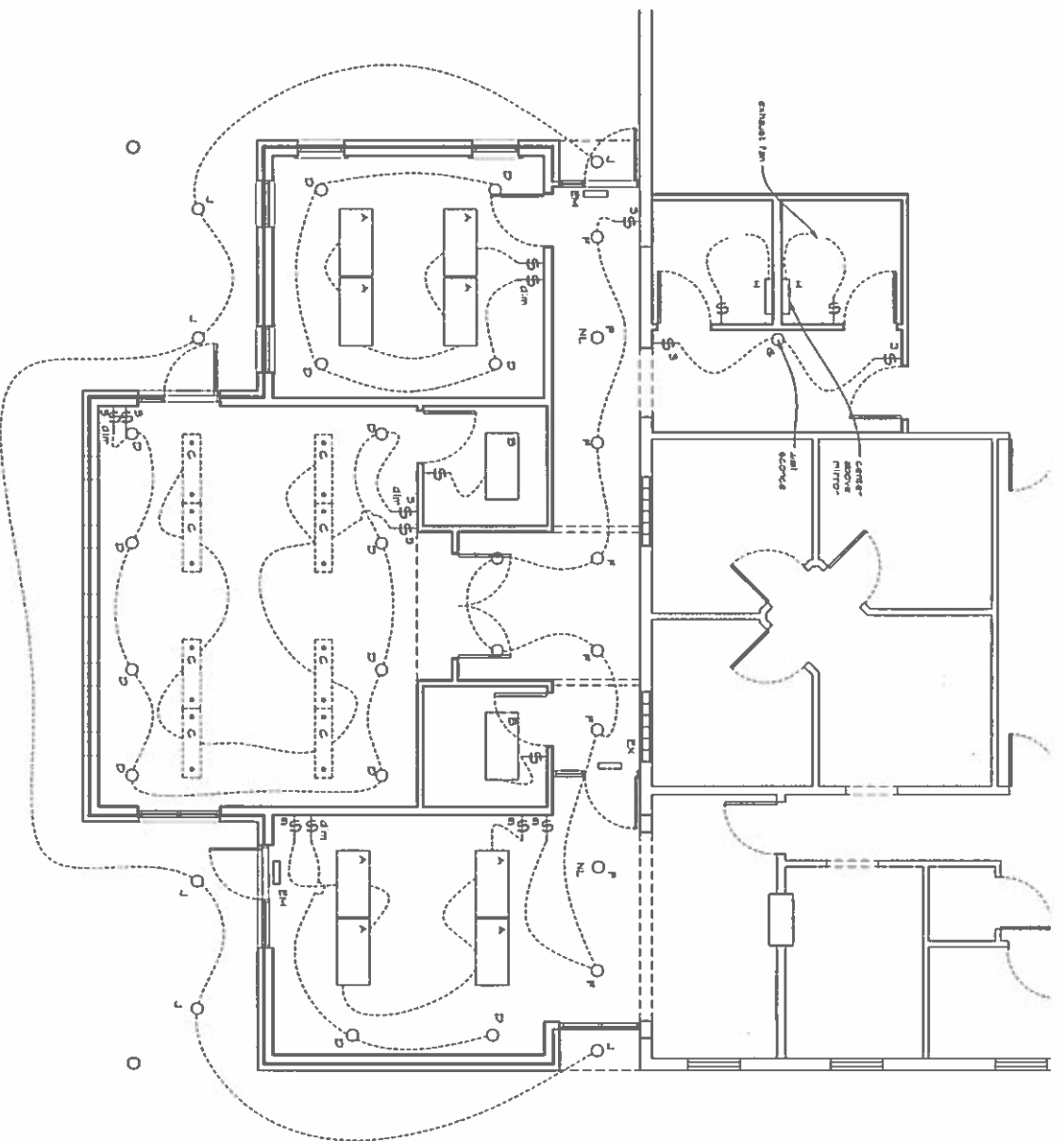
5-2-18 - Permit Issue 1  
 ISSUE  
 \$19,145  
 JWM JWM

PROJECT DATA  
**POWER PLAN**  
 (New Construction)

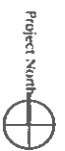
**E1**  
 SHEET



# PRELIMINARY - NOT FOR CONSTRUCTION



1 LIGHTING PLAN  
E1.1 SCALE: 1/4" = 12"



Item	Qty	Description	Unit	Notes
1	1	3.0m recessed fluorescent	fixture	
2	1	2.7m recessed fluorescent	fixture	
3	1	2.7m recessed fluorescent	fixture	
4	1	2.7m recessed fluorescent	fixture	
5	1	2.7m recessed fluorescent	fixture	
6	1	2.7m recessed fluorescent	fixture	
7	1	2.7m recessed fluorescent	fixture	
8	1	2.7m recessed fluorescent	fixture	
9	1	2.7m recessed fluorescent	fixture	
10	1	2.7m recessed fluorescent	fixture	
11	1	2.7m recessed fluorescent	fixture	
12	1	2.7m recessed fluorescent	fixture	
13	1	2.7m recessed fluorescent	fixture	
14	1	2.7m recessed fluorescent	fixture	
15	1	2.7m recessed fluorescent	fixture	
16	1	2.7m recessed fluorescent	fixture	
17	1	2.7m recessed fluorescent	fixture	
18	1	2.7m recessed fluorescent	fixture	
19	1	2.7m recessed fluorescent	fixture	
20	1	2.7m recessed fluorescent	fixture	
21	1	2.7m recessed fluorescent	fixture	
22	1	2.7m recessed fluorescent	fixture	
23	1	2.7m recessed fluorescent	fixture	
24	1	2.7m recessed fluorescent	fixture	
25	1	2.7m recessed fluorescent	fixture	
26	1	2.7m recessed fluorescent	fixture	
27	1	2.7m recessed fluorescent	fixture	
28	1	2.7m recessed fluorescent	fixture	
29	1	2.7m recessed fluorescent	fixture	
30	1	2.7m recessed fluorescent	fixture	
31	1	2.7m recessed fluorescent	fixture	
32	1	2.7m recessed fluorescent	fixture	
33	1	2.7m recessed fluorescent	fixture	
34	1	2.7m recessed fluorescent	fixture	
35	1	2.7m recessed fluorescent	fixture	
36	1	2.7m recessed fluorescent	fixture	
37	1	2.7m recessed fluorescent	fixture	
38	1	2.7m recessed fluorescent	fixture	
39	1	2.7m recessed fluorescent	fixture	
40	1	2.7m recessed fluorescent	fixture	
41	1	2.7m recessed fluorescent	fixture	
42	1	2.7m recessed fluorescent	fixture	
43	1	2.7m recessed fluorescent	fixture	
44	1	2.7m recessed fluorescent	fixture	
45	1	2.7m recessed fluorescent	fixture	
46	1	2.7m recessed fluorescent	fixture	
47	1	2.7m recessed fluorescent	fixture	
48	1	2.7m recessed fluorescent	fixture	
49	1	2.7m recessed fluorescent	fixture	
50	1	2.7m recessed fluorescent	fixture	



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**LD DEVIS**  
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Design Build Contractor

**CONTRACTOR**

**PROJECT TITLE**

**5-2-16 - Permit Issue 1**  
**ISSUE**

**519-15**  
Drawing by: JWM  
Checked by: JWM  
Date: 04/18/15  
Project No: 5272016

**PROJECT DATA**  
**LIGHTING PLAN**  
(New Construction)  
**E1.1**  
SHEET

# **J. DAVIS GONSTRUCTION PUBLIC HEARING**



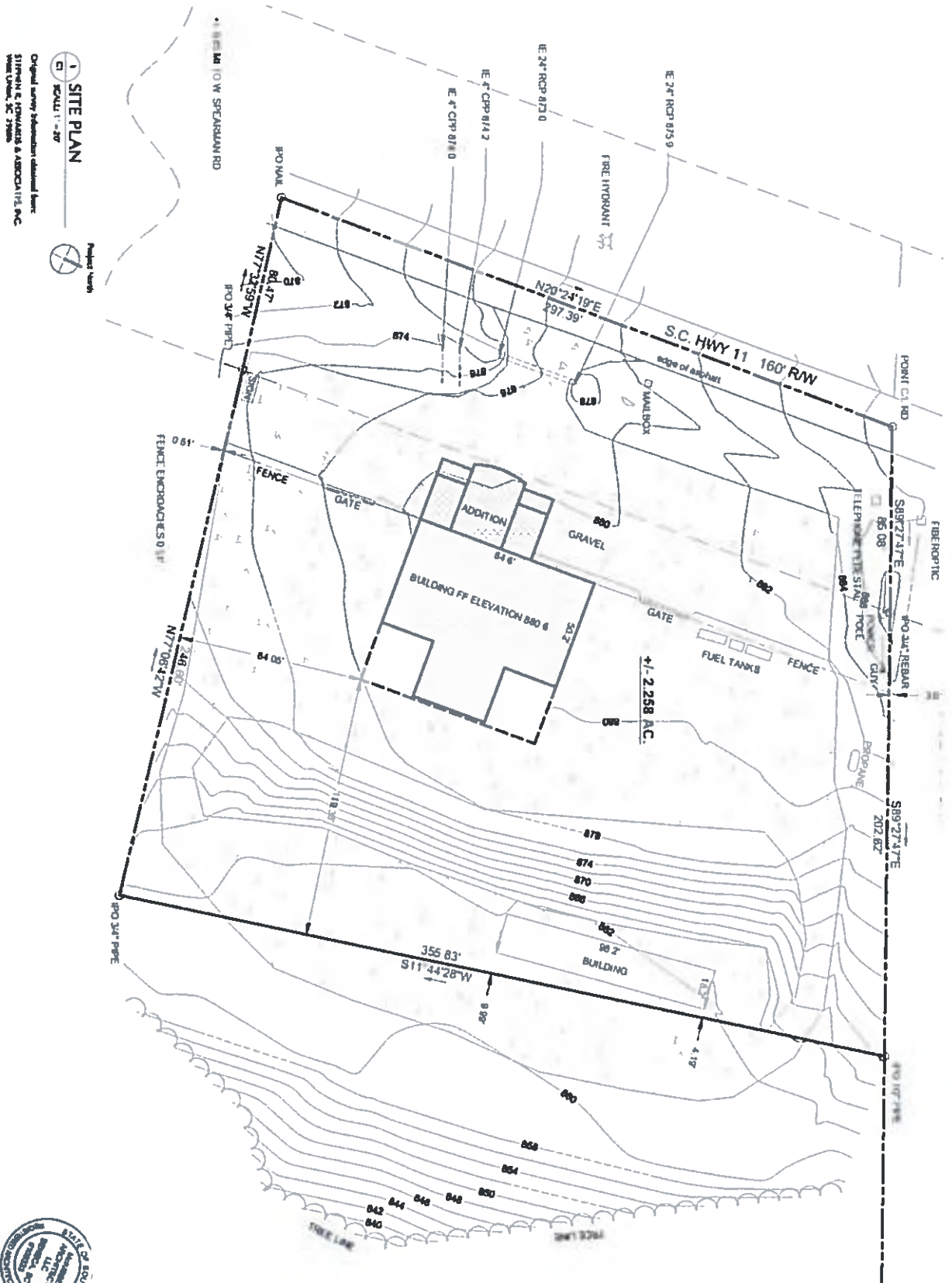
# EXISTING CONDITIONS



7/25/2018

# SITE PLAN

PRELIMINARY - NOT FOR CONSTRUCTION



<b>McKIBBEN ARCHITECTS, LLC</b> 108 East North First Street Raleigh, NC 27601 Phone: 919.978.4411 Fax: 919.978.4412 www.mckibben.com		<b>L. DAVIS</b> 1000 S. W. 10th St. Fort Lauderdale, FL 33315 Phone: 954.466.4444 Fax: 954.466.4445
DATE: 11/25/2010 PROJECT: [blank] SHEET: [blank] SCALE: [blank] DRAWN BY: [blank] CHECKED BY: [blank]	PROJECT: [blank] SHEET: [blank] SCALE: [blank] DRAWN BY: [blank] CHECKED BY: [blank]	PROJECT: [blank] SHEET: [blank] SCALE: [blank] DRAWN BY: [blank] CHECKED BY: [blank]

7/25/2010

# EXISTING FLOOR PLAN

PRELIMINARY - NOT FOR CONSTRUCTION



FLOOR PLAN  
1/25/2018

**M**  
MARRIOTT  
ARCHITECTS, LLC  
1000 North Main Street  
Suite 100  
Columbus, MS 39201  
Phone: 662.323.1111  
Fax: 662.323.1112  
www.marriottarchitects.com

**DM**  
DORR  
ARCHITECTS  
1000 North Main Street  
Suite 100  
Columbus, MS 39201  
Phone: 662.323.1111  
Fax: 662.323.1112  
www.dorrarchitects.com

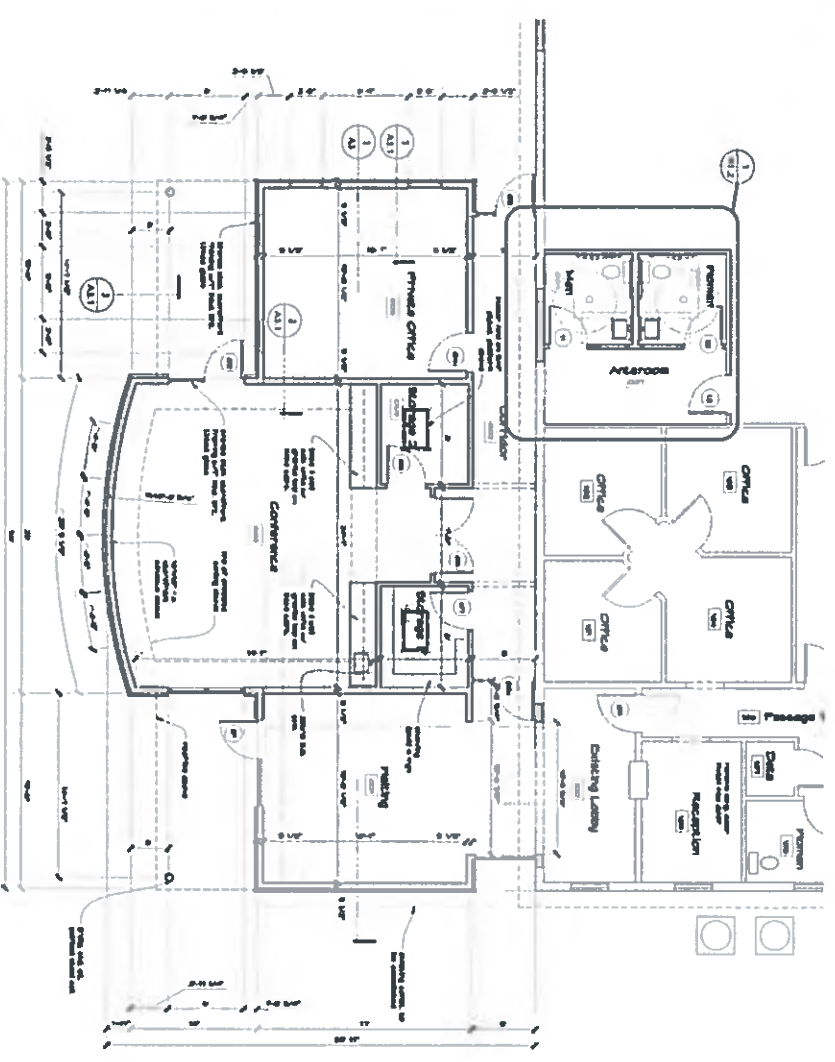
NO. 1	DATE	DESCRIPTION
1	1/25/2018	EXISTING FLOOR PLAN

FLOOR PLAN  
1/25/2018  
A1

7/25/2018

# PROPOSED FLOOR PLAN

PRELIMINARY - NOT FOR CONSTRUCTION



1 FLOOR PLAN  
SCALE: 1/8" = 1'-0"

**Plan Notes:**

1. All dimensions are in feet and inches.
2. All dimensions are to the center of the wall unless otherwise noted.
3. All dimensions are to the center of the door unless otherwise noted.
4. All dimensions are to the center of the window unless otherwise noted.
5. All dimensions are to the center of the column unless otherwise noted.



McNIBBEN  
ARCHITECTS, LLC  
1000 East South Street  
Savannah, GA 31401  
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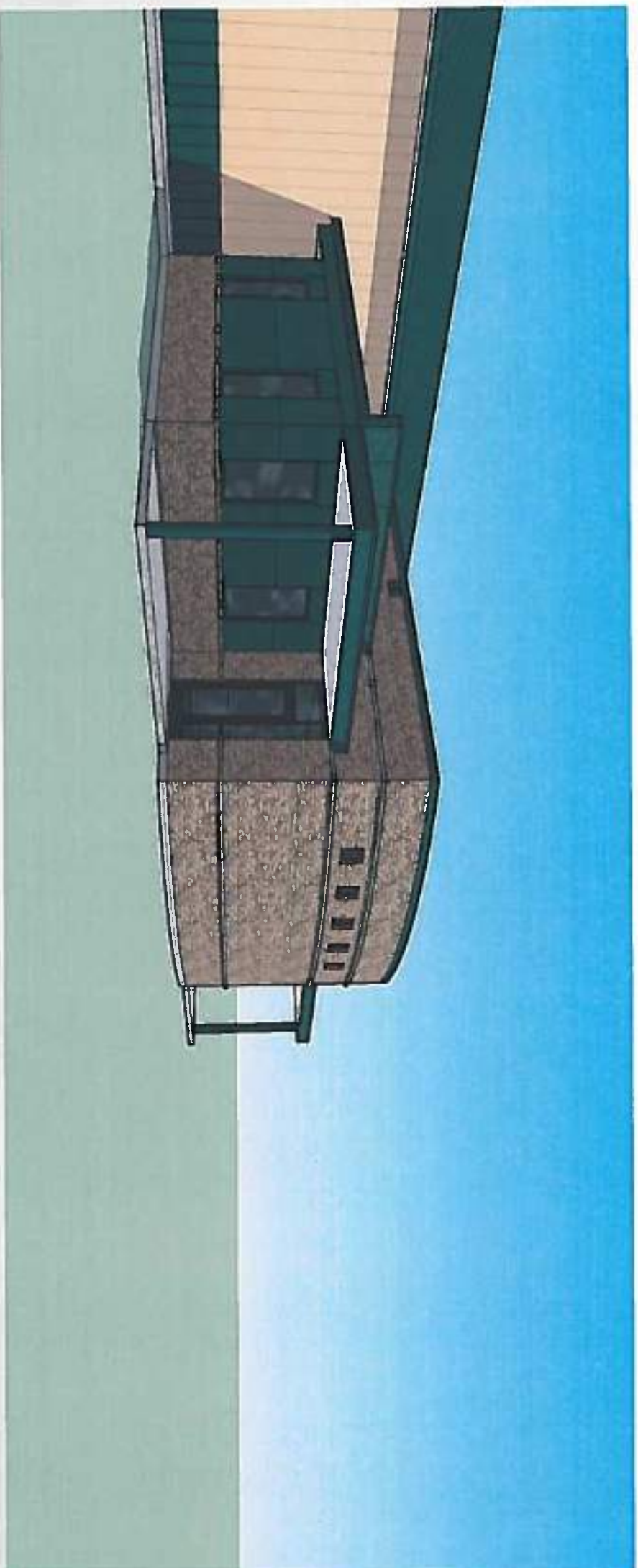


DATE: 7/25/2016  
DRAWN BY: J. DAVIS  
CHECKED BY: J. DAVIS  
SCALE: 1/8" = 1'-0"

**Note: We are considering making conference room up to an additional 20' Wide (not towards road) 44' Wide instead of 24'1" Wide) We would like this approved if we determine this need.**

7/25/2016

# PROPOSED ADDITION



7/25/2010

# REASON FOR ADDITION

- 1) MORE ATTRACTIVE EXTERIOR
- 2) NEW FORMAL WAITING ROOM AND FORMAL ENTRY
- 3) MEETING SPACE
- 4) CREATE SOME ADDITIONAL OFFICE

7/25/2016